

AGENDA



PLANNING AND ZONING COMMISSION MEETING
CITY HALL, 385 SOUTH GOLIAD, ROCKWALL, TEXAS
OCTOBER 12, 2021 IN THE CITY COUNCIL CHAMBERS AT 6:00 PM

NOTES ABOUT PUBLIC PARTICIPATION = *RED*

(I) CALL TO ORDER

(II) OPEN FORUM

This is a time for anyone to address the Planning and Zoning Commission on any topic that is not already listed on the agenda for a public hearing. Per the policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens. On topics raised during the OPEN FORUM, please know that the Planning and Zoning Commission is not permitted to respond to your comments during the meeting per the Texas Open Meetings Act.

(III) CONSENT AGENDA

These agenda items are administrative in nature or include cases that meet all of the technical requirements stipulated by the Unified Development Code (UDC) and Chapter 38, Subdivisions, of the Municipal Code of Ordinances, and do not involve discretionary approvals.

(1) Approval of Minutes for the September 28, 2021 Planning and Zoning Commission meetings.

(IV) PUBLIC HEARING ITEMS

This is a time for anyone to speak concerning their issues with a public hearing case. If you would like to speak regarding an item listed in this section, please submit a Request to Address the Planning and Zoning Commission (i.e. the yellow forms available at the podium or from staff). The Planning and Zoning Commission Chairman will call upon you to come forward at the proper time or will ask if anyone in the audience would like to speak. Please limit all comments to three (3) minutes out of respect for the time of other citizens.

(2) Z2021-034 (RYAN MILLER)

Hold a public hearing to discuss and consider a request by Maxwell Fisher of Masterplan on behalf of Saro Partners, LLC for the approval of a Zoning Change from an Agricultural (AG) District to a Light Industrial (LI) District for a 5.07-acre tract of land identified as Tract 2-06 of the D. Harr Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District, located at the southeast corner of the intersection of John King Boulevard and Airport Road, and take any action necessary.

(3) Z2021-038 (ANDREW REYNA)

Hold a public hearing to discuss and consider a request by Darrell McCallum for the approval of a Specific Use Permit (SUP) for a Detached Garage that exceeds the maximum permissible size for a detached garage on a 1.2080-acre parcel of land identified as Lot 6, Block A, Grady Rash Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family (SF-10) District, addressed as 1 Soapberry Lane, and take any action necessary.

(4) Z2021-039 (ANGELICA GAMEZ)

Hold a public hearing to discuss and consider a request by Peter Muhl of Rockwall Habitat for Humanity for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.1650-acre parcel of land identified as Lot 888A of the Rockwall Lake Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 305 Blanche Drive, and take any action necessary.

(5) Z2021-040 (RYAN MILLER)

Hold a public hearing to discuss and consider approval of a Text Amendment to Article 04, Permissible Uses, and Article 13, Definitions, of the Unified Development Code (UDC) [Ordinance No. 20-02] for the purpose of amending the Permissible Use Charts and definition for Urban Residential, and take any action necessary.

(6) Z2021-041 (HENRY LEE)

Hold a public hearing to discuss and consider a request by Aaron Hawkins on behalf of Tim Thompson of Metroplex Acquisitions for the approval of a Specific Use Permit (SUP) for Restaurant with Less Than 2,000 SF with a Drive-Through or Drive-In for the purpose of constructing a restaurant (i.e. Salad and Go) on a 0.81-acre portion of a larger 5.96-acre parcel of land identified as Lot 11, Block A, Stone Creek Retail Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 70 (PD-70) for General Retail (GR) District land uses, situated within North SH-205 Overlay (N. SH-205 OV) District, generally located northeast of the intersection of N. Goliad Street [SH-205] and Bordeaux Drive, and take any action necessary.

(V) ACTION ITEMS

These items are not advertised public hearings and deal with discretionary approvals for the Planning and Zoning Commission related to variances and special exceptions to the technical requirements of the Unified Development Code (UDC) or Chapter 38, Subdivisions, of the Municipal Code of Ordinances.

(7) SP2021-025 (HENRY LEE)

Discuss and consider a request by Dub Douphrate of Douphrate & Associates, Inc. on behalf of Michael Vinson of St. Benedict's Anglican Church for the approval of a Site Plan for a *House of Worship* on a 7.45-acre tract of land identified as Tract 3 & 10 of the W. B. Bowles Survey, Abstract No. 12 and A. Hanna Survey Abstract No. 98, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, 1500 Sunset Hill Drive, and take any action necessary.

(8) SP2021-026 (HENRY LEE)

Discuss and consider a request by Steven Reyes of Architectonics Texas, LLC on behalf of Dr. Stan Tolkachjov for the approval of a Site Plan for a *Medical Office* building on a 0.688-acre parcel of land identified as Lot 1, Block D, La Jolla Pointe Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, addressed as 505 Ridge Road [FM-740], and take any action necessary.

(VI) DISCUSSION ITEMS

These items are for discussion between staff and the Planning and Zoning Commission and relate to administrative information and/or cases that will come forward for action or public hearing at a future Planning and Zoning Commission meeting. Public comment on these cases can take place when these items are considered for action by the Planning and Zoning Commission.

(9) Director's Report of post City Council meeting outcomes for development cases (RYAN MILLER).

- P2021-047: Replat for Lot 2, Block A, Lofland Industrial Park Addition (APPROVED)
- P2021-048: Replat for Lots 2, 3, & 4, Block A, Epton Addition (APPROVED)
- Z2021-032: SUP for a Restaurant with Drive-Through for Dutch Bros. (APPROVED; 1ST READING)
- Z2021-036: Zoning Change from Agricultural (AG) District to Planned Development District 91 (PD-91) (APPROVED; 1ST READING)
- Z2021-037: SUP for an Accessory Structure at 54 Shadydale Lane (APPROVED; 2ND READING)

(VII) ADJOURNMENT

The City of Rockwall Planning and Zoning Commission reserves the right to adjourn into executive session at any time to discuss any matters listed on the agenda above, as authorized by Texas Government Code §551.071 (Consultation with City Attorney).

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Angelica Gamez, Planning and Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on October 8, 2021 at 5:00 PM, and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

MINUTES

PLANNING AND ZONING COMMISSION WORK SESSION MEETING CITY HALL, 385 SOUTH GOLIAD, ROCKWALL, TEXAS SEPTEMBER 28, 2021 IN THE CITY COUNCIL CHAMBERS AT 6:00 PM

2 I. CALL TO ORDER
3

4 Chairman Chodun called the meeting to order at 6:00 PM. Commissioners present were John Womble, Sedric Thomas, Mark Moeller, Jean
5 Conway and Vice-Chairman Jerry Welch. Absent from the meeting was Commissioner Derek Deckard. Staff members present were
6 Planning and Zoning Director Ryan Miller, Planning and Zoning Manager David Gonzales, Planning and Zoning Coordinator Angelica
7 Gamez, Planner Henry Lee, and Civil Engineers Jeremy White and Sarah Johnston. Absent from the meeting was City Engineer Amy
8 Williams.
9

10 II. APPOINTMENTS
11

- 12 1. Appointment with the Architectural Review Board (ARB) Chairman to receive the Architectural Review Board's recommendations and comments for
13 items on the agenda requiring architectural review.
14

15 A representative from the Architectural Review Board gave a brief explanation concerning the agenda items that were discussed at the
16 Architectural Review Board meeting.
17

18 III. OPEN FORUM
19

20 *This is a time for anyone to address the Planning and Zoning Commission on any topic that is not already listed on the agenda for a public hearing.*
21 *Per the policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens. On topics raised*
22 *during the OPEN FORUM, please know that the Planning and Zoning Commission is not permitted to respond to your comments during the meeting*
23 *per the Texas Open Meetings Act.*
24

25 Chairman Chodun explained how open forum is conducted and asked if anyone wished to speak to come forward at this time. There being
26 no one coming forward, Chairman Chodun closed the open forum.
27

28 IV. CONSENT AGENDA
29

30 *These agenda items are administrative in nature or include cases that meet all of the technical requirements stipulated by the Unified Development*
31 *Code (UDC) and Chapter 38, Subdivisions, of the Municipal Code of Ordinances, and do not involve discretionary approvals.*
32

- 33 2. Approval of Minutes for the September 14, 2021 Planning and Zoning Commission meeting.
34
35 3. **P2021-047 (HENRY LEE)**
36 Consider a request by ClayMoore Engineering on behalf of the Rockwall Central Appraisal District (RCAD) for the approval of a Replat for Lot 2,
37 Block A, Lofland Industrial Park Addition being a 1.707-acre parcel of land identified as Lot 1A-R, Block A, Lofland Industrial Park Addition, City of
38 Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 841 Justin Road, and take any action necessary.
39
40 4. **P2021-048 (ANDREW REYNA)**
41 Consider a request by Jeremy Epton for the approval of a Replat for Lots 2, 3, & 4, Block A, Epton Addition being a 4.95-acre parcel of land identified
42 as Lot 1, Block A, Epton Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 1 (SF-1) District, addressed as 2075 Airport Road,
43 and take any action necessary.
44

45 Vice-Chairman Welch made a motion to approve the consent agenda. Commissioner Womble seconded the motion which passed by a
46 vote of 6-0 with Commissioner Deckard absent.
47

48 V. PUBLIC HEARING ITEMS
49

50 *This is a time for anyone to speak concerning their issues with a public hearing case. If you would like to speak regarding an item listed in this*
51 *section, please submit a Request to Address the Planning and Zoning Commission (i.e. the yellow forms available at the podium or from staff). The*
52 *Planning and Zoning Commission Chairman will call upon you to come forward at the proper time or will ask if anyone in the audience would like to*
53 *speak. Please limit all comments to three (3) minutes out of respect for the time of other citizens.*
54

- 55 5. **Z2021-032 (HENRY LEE)**
56 Hold a public hearing to discuss and consider a request by Sam Moore of Main & Main on behalf of Jason Claunch of 7.1 Ridge LLC for the approval
57 of a Specific Use Permit (SUP) for Restaurant with Less Than 2,000 SF with a Drive-Through or Drive-In for the purpose of constructing a restaurant
58 (i.e. Dutch Bros. Coffee) on a 0.57-acre portion of a larger 8.583-acre parcel of land identified as Lot 1, Block A, Sky Ridge Addition, City of Rockwall,
59 Rockwall County, Texas, zoned Commercial (C) District, situated within Scenic Overlay (SOV) District, generally located southeast of the intersection
60 of Ridge Road [FM-740] and W. Yellow Jacket Lane, and take any action necessary.
61

62 Planner Henry Lee provided a brief summary in regards to the request. He reminded the Commission that they had reviewed this case at
63 the last September 14th meeting and voted to table the item until today's meeting. This was due to wanting to give the applicant more time
64 to reorient the building so that the service window will be away from Ridge Road. The applicant has made changes to the site and also

65 submitted a new concept plan resolving the concerns expressed by the Commission. Mr. Lee then advised that the applicant and Staff
66 were present and available for questions.

67
68 Chairman Chodun asked the applicant to come forward.

69
70 Sam Moore
71 2505 Penshurst Court
72 Celina, TX 75009
73

74 Mr. Moore came forward and provided additional details in regards to the request.

75
76 Chairman Chodun opened the public hearing and asked anybody who wished to speak to do so at this time. There being no one indicating
77 such, Chairman Chodun closed the public hearing and brought the item back to the Commission for discussion or action.

78
79 Commissioner Thomas made a motion to approve item Z2021-032. Commissioner Conway seconded the motion which passed by a vote
80 of 6-0.

81
82 Chairman Chodun indicated that the case will go before the City Council on October 4, 2021.

83
84 6. **Z2021-036 (HENRY LEE)**

85 Hold a public hearing to discuss and consider a request by Adam Shiffer of the Skorborg Company on behalf of Gordon C. Fogg for the approval of
86 a Zoning Change to amend Planned Development District 91 (PD-91) [*Ordinance No. 21-36*] to incorporate a 20.00-acre tract of land identified as
87 Tracts 22-04 & 22-05 of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District,
88 addressed as 505 Clem Road, and take any action necessary.

89
90 Planner Henry Lee provided a brief summary in regards to the request. The applicant is requesting to amend Planned Development District
91 91 (PD-91) which includes an additional 20 acres and additional 34 homes. The total would then be 78.41 acres and 132 single-family
92 residential lots with the overall density proposed with this subdivision being 1.69 dwelling units per acre. The amended concept plan
93 indicates that 15.84 acres (20.2%) of open space has been provided meeting the 20% requirement by the Unified Development Code (UDC).
94 The amended concept plan also includes new amenities such as a dock on the pond as well as a pavilion. The proposed amendment to
95 PD-91 still meets all of the requirements of the UDC. On September 23, 2021, staff mailed out 31 notices to property owners and occupants
96 within 500-feet of the subject property as well as all Homeowners Associations (HOAs) within 1,500-feet of the subject property. At this
97 time, staff had only received one (1) email from a property owner outside of the notification area in opposition to the request and one (1)
98 notice from a property owner within the notification area in opposition to the request.

99
100 Chairman Chodun asked the applicant to come forward.

101
102 Kevin Harrell
103 8214 Westchester Drive, Suite 900
104 Dallas, TX 75225
105

106 Mr. Harrell came forward and provided a PowerPoint presentation in regards to the request.

107
108 Vice- Chairman Welch asked questions regarding the dock-whether or not it would be provided.

109
110 Chairman Chodun opened the public hearing and asked anyone who wished to speak to come forward at this time.

111
112 Barbara Lee
113 628 Cornelius
114 Rockwall, TX 75087
115

116 Mrs. Lee came forward and asked what would separate the homes from back of the property.

117
118 Bob Wacker
119 309 Featherstone
120 Rockwall, TX 75087
121

122 Mr. Wacker came forward and asked if a Traffic Study would have to be done in this area due to the increase in homes.

123
124 Rich Lake
125 788 Featherstone Drive
126 Rockwall, TX 75087
127

128 Mr. Lake came forward and asked if there was a traffic study done on the area as well as asking about the density of the area. Mr. Lake
129 also had a concern in regards to the buffer zone on the farm.

130
131 Steve Curtis
132 2130 FM 1141

133 Rockwall, TX 75087

134 Mr. Curtis came forward and asked questions regarding the dwelling units per gross acre, the pond, and the size of the lots.

136 Chairman Chodun asked if anybody else wished to speak to come forward at this time; there being no one indicating such, Chairman Chodun closed the public hearing and brought the item back to the Commission for discussion or action.

140 Chairman Chodun asked the applicant to come forward and address public comments and concerns.

142 Mr. Lake came forward to address the comments made by the public.

144 Chairman Chodun added that his big issue with the development is the size of the lots.
145 Commissioner Thomas stated his support for the request.

147 Commissioner Thomas made a motion to approve item Z2021-036. Commissioner Moeller seconded the motion which passed by a vote of
148 5-1 with Chairman Chodun dissenting.

150 Chairman Chodun indicated the case will go before the City Council on October 4, 2021.

152 VI. ACTION ITEMS

153 *These items are not advertised public hearings and deal with discretionary approvals for the Planning and Zoning Commission related to variances*
154 *and special exceptions to the technical requirements of the Unified Development Code (UDC) or Chapter 38, Subdivisions, of the Municipal Code of*
155 *Ordinances.*

157 7. MIS2021-012 (ANDREW REYNA)

159 Discuss and consider a request by Eddie Guajardo of Rockwall Independent School District (RISD) for the approval of a Variance to the *Architectural*
160 *Standards* of the IH-30 Overlay (IH-30 OV) District to allow the construction of a building on a 35.295-acre parcel of land identified as Lot 1, Block A,
161 Rockwall High School Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30
162 OV) District, addressed as 901 W. Yellow Jacket Lane, and take any action necessary.

163
164 Planner Andrew Reyna provided a brief summary in regards to the request. The applicant is requesting a variance to masonry requirements
165 for the IH-30 Overlay District. The accessory building will be a 12' x 25' footprint or roughly 300 square feet. With the approval of this, this
166 would bring the total number of accessory buildings on the property to 4. The proposed building will not be visible from IH-30 or
167 Yellowjacket Lane. Mr. Reyna then advised the Commission that he was available for questions.

168
169 Chairman Chodun asked the applicant to come forward.

170
171 Eddie Guajardo
172 1050 Williams Street
173 Rockwall, TX 75087

174
175 Will Salee
176 1050 Williams Street
177 Rockwall, TX 75087

178
179 Mr. Guajardo and Mr. Salee both came forward and provided additional details in regards to their request.

180
181 Commissioner Moeller asked about the temporary location of the trailers shown in the aerial photo.
182 Vice-Chairman Welch asked if these structures would be permanent or temporary structures.

183
184 Commissioner Moeller made a motion to approve item MIS2021-012 with staff recommendations. Commissioner Conway seconded the
185 motion which passed by a vote of 6-0.

186
187 VII. DISCUSSION ITEMS

188
189 *These items are for discussion between staff and the Planning and Zoning Commission and relate to administrative information and/or cases that*
190 *will come forward for action or public hearing at a future Planning and Zoning Commission meeting. Public comment on these cases can take place*
191 *when these items are considered for action by the Planning and Zoning Commission. The anticipated Planning and Zoning Commission public*
192 *hearing and/or action date for the following cases is October 12, 2021.*

193
194 8. Z2021-038 (ANDREW REYNA)

195 Hold a public hearing to discuss and consider a request by Darrell McCallum for the approval of a Specific Use Permit (SUP) for *Detached Garage*
196 that exceeds the maximum permissible size for a detached garage on a 1.2080-acre parcel of land identified as Lot 6, Block A, Grady Rash Addition,
197 City of Rockwall, Rockwall County, Texas, zoned Single-Family (SF-10) District, addressed as 1 Soapberry Lane, and take any action necessary.

198
199 Chairman Chodun asked the applicant to come forward.
200

201 Darrell McCallum
202 1 Soapberry Lane
203 Rockwall, TX 75087
204

205 Mr. McCallum came forward and provided a brief summary in regards to the request.
206

207 Commissioner Womble asked what the size was for the current shed.
208 Commissioner Conway asked what material would be on the pitched roof.
209

210 Chairman Chodun advised this item will be brought back to the Commission for discussion or action on October 12, 2021.
211

212 9. Z2021-039 (ANGELICA GAMEZ)

213 Hold a public hearing to discuss and consider a request by Peter Muhl of Rockwall Habitat for Humanity for the approval of a Specific Use Permit
214 (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.1650-acre parcel of land identified
215 as Lot 888A of the Rockwall Lake Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75)
216 for Single-Family 7 (SF-7) District land uses, addressed as 305 Blanche Drive, and take any action necessary.
217

218 Planning and Zoning Coordinator Angelica Gamez provided a brief summary in regards to the request. The applicant is requesting to
219 construct a single-family home in Lake Rockwall Estates. Since Lake Rockwall Rockwall Estates is considered to be an established
220 subdivision then the applicant does have to go through this SUP process. Staff would like to note that the home does not have a garage
221 and should the applicant decide to add it, then it must meet the standards and requirements as stated in the UDC.
222

223 Chairman Chodun advised this item will be brought back to the Commission for discussion or action on October 12, 2021.
224

225 10. Z2021-040 (RYAN MILLER)

226 Hold a public hearing to discuss and consider approval of a Text Amendment to Article 04, Permissible Uses, and Article 13, Definitions, of the Unified
227 Development Code (UDC) [Ordinance No. 20-02] for the purpose of amending the Permissible Use Charts and definition for Urban Residential, and
228 take any action necessary.
229

230 Director of Planning and Zoning Ryan Miller provided a brief summary in regards to the request. He explained that the Urban Residential
231 land use was something that was created in 2004 and expanded in 2007. Based on a previous case, City Council directed Staff on
232 September 7, 2021 to make some changes. Specifically, they wanted to make sure that there was discretionary oversight anytime Urban
233 Residential was proposed in the Downtown (DT) District. They also wanted to limit the possibility of higher density housing going into that
234 area in the future. Based on that, Staff brought a couple of changes forward. Some of the changes include the changing the definition of
235 Urban Residential, calling out what types of residential Staff is referring to, and changing the Use Chart to make that a SUP which will give
236 the Planning & Zoning Commission and City Council discretionary oversight as opposed to it being allowed by right. Mr. Miller then advised
237 that Staff was available to answer questions.
238

239 Chairman Chodun advised this item will be brought back to the Commission for discussion or action on October 12, 2021.
240

241 11. Z2021-041 (HENRY LEE)

242 Hold a public hearing to discuss and consider a request by Aaron Hawkins on behalf of Tim Thompson of Metroplex Acquisitions for the approval of
243 a Specific Use Permit (SUP) for Restaurant with Less Than 2,000 SF with a Drive-Through or Drive-In for the purpose of constructing a restaurant
244 (i.e. Salad and Go) on a 0.81-acre portion of a larger 5.96-acre parcel of land identified as Lot 11, Block A, Stone Creek Retail Addition, City of
245 Rockwall, Rockwall County, Texas, zoned Planned Development District 70 (PD-70) for General Retail (GR) District land uses, situated within North
246 SH-205 Overlay (N. SH-205 OV) District, generally located northeast of the intersection of N. Goliad Street [SH-205] and Bordeaux Drive, and take
247 any action necessary.
248

249 Planner Henry Lee indicated that Staff wanted to mention that the bail out lane shown will have to be in indicated as a one-way lane. There
250 will also need to be headlight screening for both drive-throughs.
251

252 Chairman Chodun asked the applicant to come forward.
253

254 Aaron Hawkins
255 4500 Mercantile Plaza Drive
256 Fort Worth, TX 76137
257

258 Mr. Hawkins came forward and provided a brief summary in regards to the request. The request is for a small drive-through restaurant
259 with no indoor seating and no indoor kitchen. There will only be a warmer onsite to heat up certain breakfast items. The food is brought
260 in daily on small box trucks with everything prepackaged so there is nothing onsite.
261

262 Chairman Chodun asked what the number of stacked cars would be. He also asked about the other locations the restaurant was operating
263 at.
264

265 Chairman Chodun advised this item will be brought back to the Commission for discussion or action on October 12, 2021.
266

267 12. SP2021-025 (HENRY LEE)

268 Discuss and consider a request by Dub Douphrate of Douphrate & Associates, Inc. on behalf of Michael Vinson of St. Benedict's Anglican Church
269 for the approval of a Site Plan for a *House of Worship* on a 7.45-acre tract of land identified as Tract 3 & 10 of the W. B. Bowles Survey, Abstract No.
270 12 and A. Hanna Survey Abstract No. 98, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, 1500 Sunset Hill Drive,
271 and take any action necessary.
272

273 **Planner Henry Lee wanted to note that on the applicant's site plan, they are proposing to establish the parking areas and the landscaping.**
274 **This will cause changes to their current landscape plan which will show the three-tiered screening along the north property line and the**
275 **east property line. The applicant has also indicated that they're requesting to keep the private drive on the east side of the property as a**
276 **private drive.**
277

278 **Chairman Chodun asked the applicant to come forward.**
279

280 **Dub Douphrate**
281 **2235 Ridge Road, Suite 200**
282 **Rockwall, TX 75087**
283

284 **Mr. Douphrate came forward and provided a brief summary in regards to the request. He explained about the requirements that he would**
285 **like waived with the request.**
286

287 **Commissioner Womble asked if the applicant could bring photos in regards to the request.**
288

289 **Chairman Chodun advised this item will be brought back to the Commission for discussion or action on October 12, 2021.**
290

291 13. **SP2021-026 (HENRY LEE)**

292 Discuss and consider a request by Steven Reyes of Architectonics Texas, LLC on behalf of Dr. Stan Tolkachjov for the approval of a Site Plan for a
293 *Medical Office* building on a 0.688-acre parcel of land identified as Lot 1, Block D, La Jolla Pointe Addition, City of Rockwall, Rockwall County, Texas,
294 zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, addressed as 505 Ridge Road [FM-740], and take any action
295 necessary.
296

297 **Planner Henry Lee wanted to add that the Architectural Review Board is forwarding a recommendation for approval on this item.**
298

299 **Chairman Chodun asked the applicant to come forward.**
300

301 **Ross Ramsey**
302 **404 S. Fannin**
303 **Rockwall, TX 75087**
304

305 **Mr. Ramsey came forward and was prepared to answer questions.**
306

307 **Chairman Chodun advised this item will be brought back to the Commission for discussion or action on October 12, 2021.**
308

309 14. Director's Report of post City Council meeting outcomes for development cases (RYAN MILLER).
310

- 311 • Z2021-032: SUP for a Restaurant with Drive-Through for Dutch Bros. [TABLE TO OCTOBER 4TH]
- 312 • Z2021-033: Amendment to Planned Development District 4 (PD-4) for a Mixed-Use Development [DENIED]
- 313 • Z2021-035: Zoning Change from Agricultural (AG) District to Light Industrial (LI) District [TABLE TO OCTOBER 18TH]
- 314 • Z2021-035: Zoning Change from Agricultural (AG) District to Neighborhood Services (NS) District [DENIED]
- 315 • Z2021-036: Zoning Change from Agricultural (AG) District to Planned Development District 91 (PD-91) [TABLE TO OCTOBER 4TH]
- 316 • Z2021-037: SUP for an Accessory Structure at 54 Shadydale Lane [APPROVED; 1ST READING]
- 317

318 **Director of Planning and Zoning Ryan Miller provided a brief update about the outcome of the above referenced cases at the City Council**
319 **meeting.**
320

321 VIII. ADJOURNMENT
322

323 **Chairman Chodun adjourned the meeting at 7:17 P.M.**
324

325 PASSED AND APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL, Texas, this _____ day of ____
326 _____, 2021.
327

328 _____
329 Eric Chodun, Chairman
330

331 Attest:
332

333 _____
334 Angelica Gamez, Planning and Zoning Coordinator
335



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

DATE: October 12, 2021

APPLICANT: Maxwell Fisher; *Masterplan*

CASE NUMBER: Z2021-034; *Zoning Change from Agricultural (AG) District to Light Industrial (LI) District at the Intersection of Airport Road and John King Boulevard*

SUMMARY

Hold a public hearing to discuss and consider a request by Maxwell Fisher of Masterplan on behalf of Saro Partners, LLC for the approval of a Zoning Change from an Agricultural (AG) District to a Light Industrial (LI) District for a 5.07-acre tract of land identified as Tract 2-06 of the D. Harr Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District, located at the southeast corner of the intersection of John King Boulevard and Airport Road, and take any action necessary.

BACKGROUND

The City Council approved *Ordinance No. 98-10*, annexing the subject property into the City of Rockwall on March 16, 1998. At the time of annexation, the subject property was zoned as Agricultural (AG) District. No portion of the subject property has been rezoned or developed since the subject property was annexed, and the subject property is currently vacant.

PURPOSE

On May 14, 2021, the applicant -- *Maxwell Fisher of Masterplan* -- submitted an application requesting to change the zoning of the *subject property* from an Agricultural (AG) District to a Light Industrial (LI) District. The applicant has stated that the purpose of the zoning request is to facilitate the construction of a ~17,000 SF, one (1)-story facility for use by the Boys and Girls Club.

ADJACENT LAND USES AND ACCESS

The subject property is generally located on the southeast corner of the intersection of John King Boulevard and Airport Road. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is Airport Road, which is identified as a M4U (*major collector, four [4] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. North of Airport Road is a 47.89-acre parcel of land (*i.e. Lot 1, Rockwall Municipal Airport Addition*), which is owned by the City of Rockwall (*i.e. Ralph Hall Municipal Airport*). West of the airport and northwest of the subject property is a 31.93-acre vacant tract of land (*i.e. Tract 3, of the N. Butler Survey, Abstract No. 20*) that is bisected by John King Boulevard. Beyond this is SH-66, which is identified as a TXDOT4D (*i.e. a Texas Department of Transportation [TXDOT], four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. All of these properties are zoned Agricultural (AG) District.

South: Directly south of the subject property is the right-of-way for the *Union Pacific Dallas/Garland Northeast Railroad*. Continuing south, and adjacent to the *Union Pacific Dallas/Garland Northeast Railroad*, is a 4.108-acre vacant tract of land (*i.e. Tract 2-7, of the D. Harr Survey, Abstract No. 102*) that is owned by the City of Rockwall. Beyond this is John King Boulevard, which is identified as a P6D (*i.e. principle arterial, six [6] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

East: Directly east of the subject property are three (3) vacant tracts of land (*i.e. Tract 2-03 [5.784-acres], Tract 2-01 [6.177-acres], and Tract 2 [6.177-acres] of the D. Harr Survey, Abstract No. 102*). These tracts of land are zoned Agricultural (AG) District. Continuing east is a 17.923-acre tract of land (*i.e. Tract 4, D. Harr Survey, Abstract No. 102*) that was rezoned by the City Council to Light Industrial (LI) District on July 6, 2021. Continuing east are several properties zoned Agricultural (AG) District that have single-family homes situated on them. These properties are followed by a 3.128-acre tract of land zoned Single-Family Estate 1.5 (SF-1.5) District, which is occupied by a single-family home. Beyond this is N. Stodghill Road, which is identified as a TXDOT4D (*i.e. a Texas Department of Transportation [TXDOT], four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. This thoroughfare is adjacent to the corporate limits of the City of Rockwall.

West: Directly west of the subject property is John King Boulevard, which is identified as a P6D (*i.e. principle arterial, six [6] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is the City of Rockwall's Service Center (*i.e. Lot 1, Rockwall Service Center & Park Addition*) and Leon Tuttle Athletic Complex (*i.e. Lot 2, Rockwall Service Center & Park Addition*), which are zoned Light Industrial (LI) District.

INFRASTRUCTURE

Based on the applicant's submittal the following infrastructure is required:

- (1) Water Improvements. The development will be required to tie to the existing 12-inch waterline on the north side of Airport Road. Additionally, the development will require installing a 12-inch waterline along the western property line of John King Boulevard.
- (2) Sewer Improvements. The development will be required to tie to the existing 12-inch sanitary sewer line located southeast of the subject property on the south side of the railroad, which will require a railroad permit and off-site sewer easements.
- (3) Roadways. Airport Road is a M4U (*i.e. major collector, four [4] lane, undivided roadway*), which requires a minimum of a 65-foot right-of-way and a 45-foot back-to-back concrete street. In addition, the applicant will need to verify the right-of-way of Airport Road and ensure that the required right-of-way has been dedicated (*i.e. 30-feet as measured from the centerline of the roadway*). If additional right-of-way is needed this will be required to be dedicated at the time of final plat.
- (4) Drainage. Detention will be required and sized per the Engineering Department's *Standards of Design and Construction Manual*.

CONFORMANCE WITH THE CITY'S CODES

According to Subsection 05.02, *Light Industrial (LI) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), "(t)he Light Industrial (LI) District is a zoning district intended to create a limited industrial zone that provides for modern types of industrial land uses ... [and, in which] (l)imitations have been placed on the uses in this district to significantly restrict outside activities and the storage of materials, noise, vibration, smoke, pollution, fire and explosive hazards, glare and any other potentially adverse externalities." The Light Industrial (LI) District is also intended to facilitate the development of industrial parks and larger, cleaner types of industries. This section of the code goes on to state that "(s)ince this zoning district accommodates limited industrial activities that require substantial screening and buffering requirements, the Light Industrial (LI) District is a suitable zoning designation for high visibility locations (*e.g. IH-30 and SH-205*) or within a reasonable distance of residential areas as long as they are separated by an appropriate amount of open space." In this case, the applicant has indicated that the proposed land use will be a *Social Service Provider*, which is an allowed by-right land use in the Light Industrial (LI) District.

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

The OURHometown Vision 2040 Comprehensive Plan indicates that the subject property is located within the Central District and is designated for Technology/Employment Center land uses. According to the Comprehensive Plan, the Central District is "...composed of a wide range of uses that vary from single-family to industrial ... [and] (t)he Central District also incorporates a high volume of industrial land uses adjacent to the *Union Pacific/Dallas Garland and Northeastern Railroad* line that bisects the

district.” The applicant’s request to change the zoning of the subject property from an Agricultural (AG) District to a Light Industrial (LI) District, is in conformance with the *Technology/Employment Center* land use designation and appears to be in conformance with the *District Strategies* for the *Central District*. In addition, the OURHometown Vision 2040 Comprehensive Plan seeks to “...(p)reserve the City’s current residential to non-residential land use ratio (i.e. 80% Residential; 20% Commercial) in order to maintain a balance mix of land uses for fiscal sustainability ...” [Section 02.01; CH. 1; Page 1-1]. The *Land Use Plan* contained in the Comprehensive Plan was created to guide the City toward the desired 80% residential to 20% non-residential land use balance. Since the proposed zoning change is in conformance to the Future Land Use Plan, the proposed zoning change does not change the mix of residential to non-residential land uses. This balance remains at 75.90% residential land uses to 24.10% non-residential land uses. With this being said, zoning is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

NOTIFICATIONS

On August 26, 2021, staff mailed 11 notices to property owners and occupants within 500-feet of the subject property. Staff also notified the Rolling Meadow Estates Homeowner’s Association (HOA), which is the only HOA within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received the following:

- (1) One (1) email from a property owner that are not within the notification area (i.e. outside of the 500-foot buffer) that is opposed to the applicant’s request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant’s request to rezone the subject property from an Agricultural (AG) District to a Light Industrial (LI) District, then staff would propose the following conditions of approval:

- (1) Prior to the acceptance of an application for a site plan, the applicant will need to seek approval from the Federal Aviation Administration (FAA) [and TXDOT Aviation if necessary] of a 7460 Form for a Part 77 Aerospace Study;
- (2) All development shall maintain conformance with the *Interim Guidance for Compatible Land Uses in the RPZ*. This means that prior to the acceptance of a site plan, the City will need to coordinate with the FAA Airport District Office, the FAA Regional Office, and the *Airport Planning and Environmental Division (APP-400)* to conduct an alternatives analysis to identify and document the full range of alternatives that could avoid introducing a potential land use issue within the *Runway Protection Zone (RPZ)*;
- (3) In the interest of public safety, a future site plan shall indicate that no structures, playground, parking spaces, or programmed spaces are located in the *Ultimate Object Free Area*, *Ultimate Object Free Zone*, or the *Runway Protection Zone (RPZ)* of the Ralph Hall Municipal Airport;
- (4) If light poles are proposed to be located in the parking areas, the applicant will need to perform a FAA Obstruction Evaluation (via FAA Form 7460 for off-airport construction) showing conformance with the City’s *Clear Zone Easement* and the *Runway Protection Zone (RPZ)*. This will be required to be submitted to the City concurrently with an application for a site plan;
- (5) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22021-034

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ¹
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST (\$100.00)

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS	N/A				
SUBDIVISION	ABS A0102, D HARR, TRACT 2-06	LOT	N/A	BLOCK	N/A
GENERAL LOCATION	Southeast corner of Airport Road & N. John King Boulevard				

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	AG	CURRENT USE	Vacant		
PROPOSED ZONING	LI	PROPOSED USE	Boys & Girls Club		
ACREAGE	5.07	LOTS [CURRENT]	0	LOTS [PROPOSED]	1

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> OWNER	Saro Partners LLC	<input checked="" type="checkbox"/> APPLICANT	Masterplan
CONTACT PERSON		CONTACT PERSON	Maxwell Fisher
ADDRESS	1450 T.L. Townsend	ADDRESS	2595 Dallas Parkway
CITY, STATE & ZIP	Rockwall, TX 75032	CITY, STATE & ZIP	Frisco, TX 75034
PHONE		PHONE	(214) 470-3972
E-MAIL		E-MAIL	maxwell@masterplantexas.com

NOTARY VERIFICATION [REQUIRED]

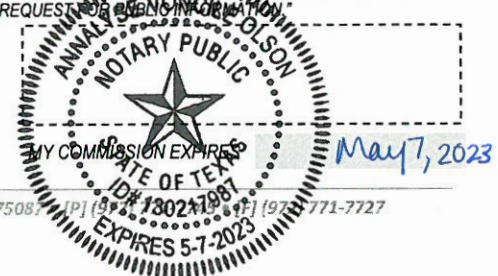
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Shawn Valk [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 290.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 19th DAY OF August, 2021. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR A PUBLIC RECORD."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 18 DAY OF August, 2021

OWNER'S SIGNATURE Shawn Valk

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS Analyse Olson





Z2021-034- ZONING CHANGE FROM AG TO LI
 ZONING - LOCATION MAP =

0 105 210 420 630 840 Feet

JOHNKING

JOHNKING

AIRPORT

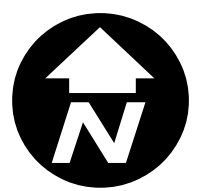
JUSTIN



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

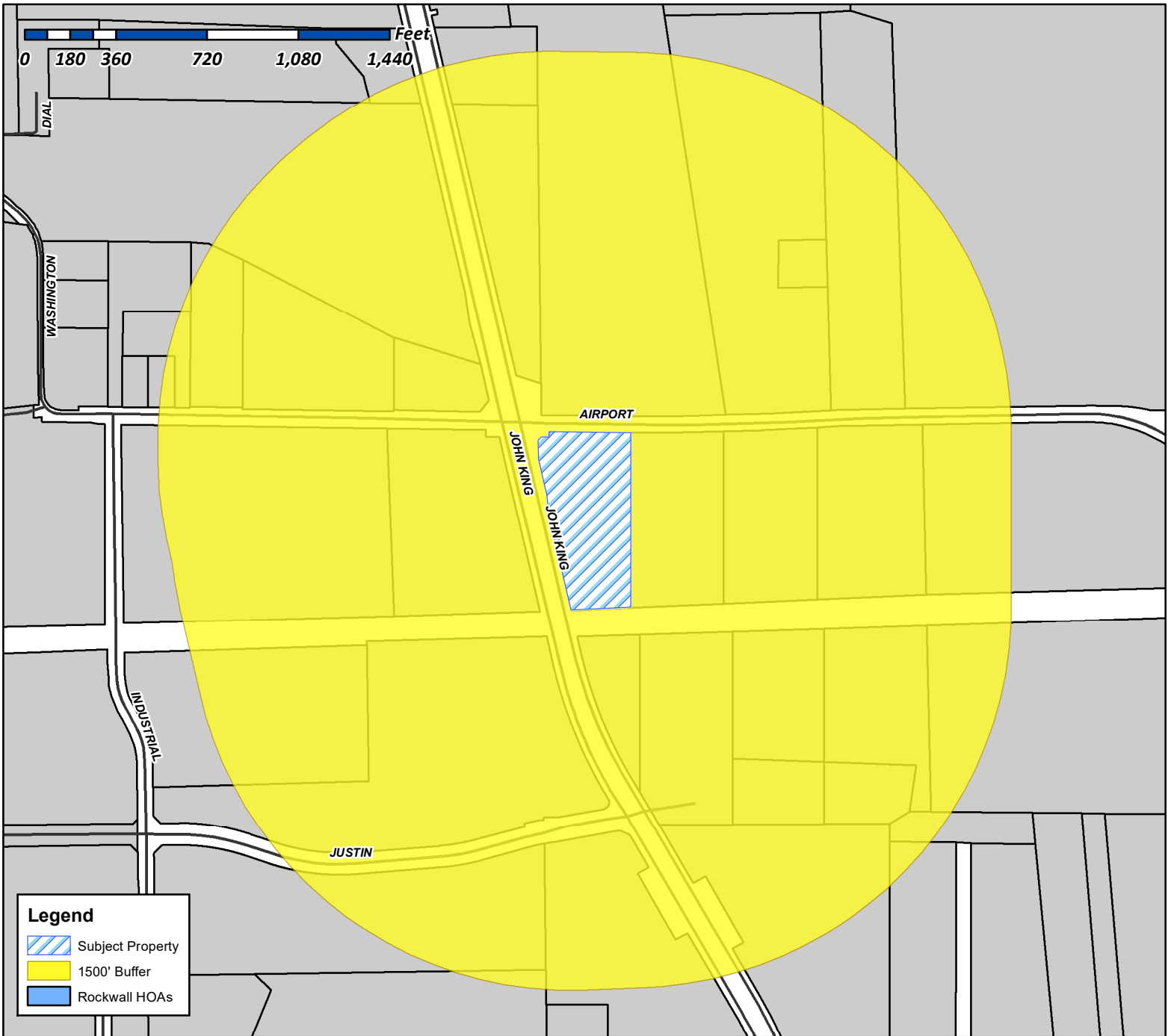
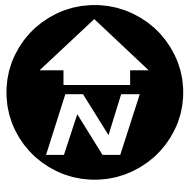




City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2021-034
Case Name: Zoning Change from AG to LI
Case Type: Zoning
Zoning: Agricultural (AG) District
Case Address: SEC of Airport Road & John King Blvd



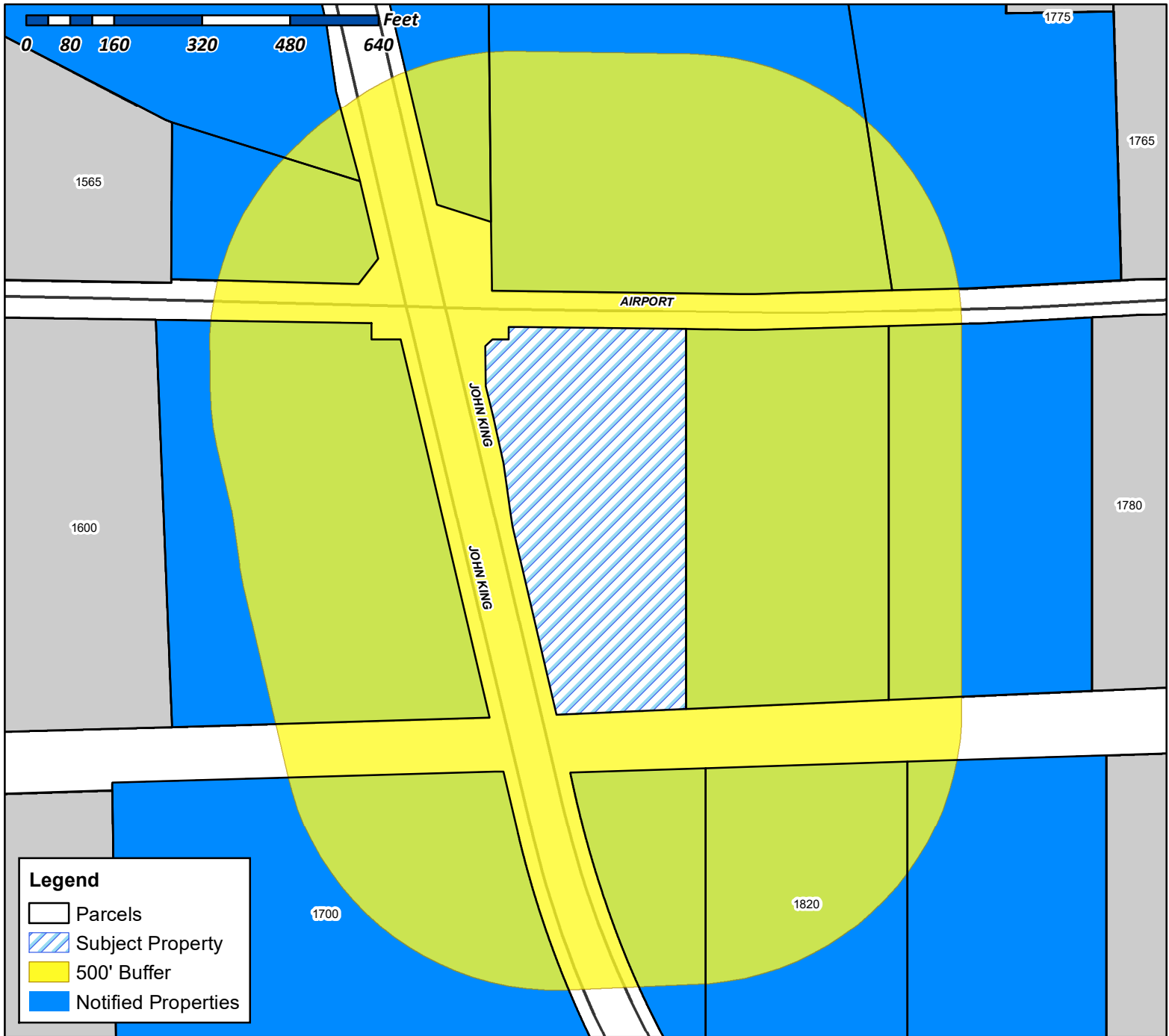
Date Created: 8/20/2021
 For Questions on this Case Call (972) 771-7745



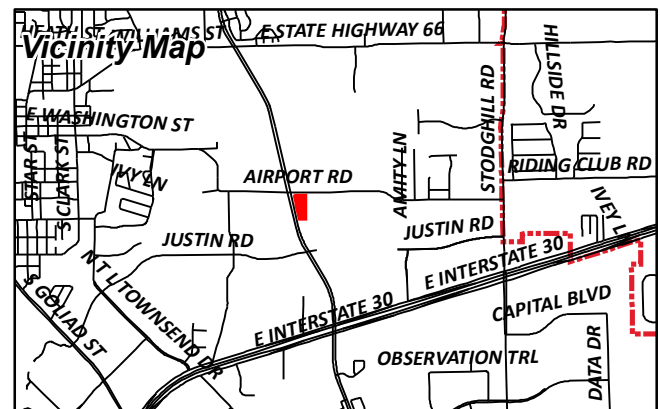
City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2021-034
Case Name: Zoning Change from AG to LI
Case Type: Zoning
Zoning: Agricultural (AG) District
Case Address: SEC of Airport Rd. & John King Blvd.



Date Created: 8/20/2021
 For Questions on this Case Call (972) 771-7745

FUNK JOSEPH
11226 INDIAN TRAIL
DALLAS, TX 75229

SARO PARTNERS LLC
1450 T L TOWNSEND
ROCKWALL, TX 75032

WILLCAR HOLDINGS LLC
ATTN: WILLIAM H CHANNELL JR
1700 JUSTIN RD
ROCKWALL, TX 75087

JCP JUSTIN LLC
1820 JUSTIN RD
ROCKWALL, TX 75087

ROCKWALL PROPERTY CORPORATION
ATTN BILL BRICKER
305 PARK PLACE BLVD
ROCKWALL, TX 75087

ROCKWALL PRESBYTERIAN CHURCH
306 EAST RUSK ST
ROCKWALL, TX 75087

BACKWARDS L LLC
3333 MILLER PARK SOUTH
GARLAND, TX 75042

JCP JUSTIN LLC
3333 MILLER PARK SOUTH
GARLAND, TX 75042

WILLCAR HOLDINGS LLC
ATTN: WILLIAM H CHANNELL JR
P O BOX 9022
TEMECULA, CA 92589

ATHEY JACK R
P.O. BOX 219
LAVON, TX 75166

ATHEY JACKIE R
P.O. BOX 219
LAVON, TX 75166

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2021-034: Zoning Change from AG to LI

Hold a public hearing to discuss and consider a request by Maxwell Fisher of Masterplan on behalf of Saro Partners, LLC for the approval of a Zoning Change from an Agricultural (AG) District to a Light Industrial (LI) District for a 5.07-acre tract of land identified as Tract 2-06 of the D. Harr Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District, located at the southeast corner of the intersection of John King Boulevard and Airport Road, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, September 14, 2021 at 6:00 PM, and the City Council will hold a public hearing on Monday, September 20, 2021 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

David Gonzales
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, September 20, 2021 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2021-034: Zoning Change from AG to LI

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

Name: [Grey box]
Address: [Grey box]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

From: [Bill Bricker](#)
To: [Gonzales, David](#)
Subject: Concerns on B&G Club location
Date: Tuesday, August 31, 2021 7:19:27 PM

David,

I am opposed to this building as it is too close to the flight path. There should not be any obstruction this close to the threshold and centerline of the runway. There are many student pilots who can easily drift on takeoff at a low altitude as well as on approach. Additionally there are larger aircraft that utilize a good bit of the full length of the runway during normal operations and land quite near the threshold.. A gust could blow them into the structure. We have had a hazardous power line for years at the north end. It took 50 years to catch a plane, but it did. Adding a hazard on the south approach makes no sense.

I know this make the property largely useless, but the situation has existed for years. I get property owner rights, but not at the expense of public safety.

Thanks for reading.

Bill Bricker

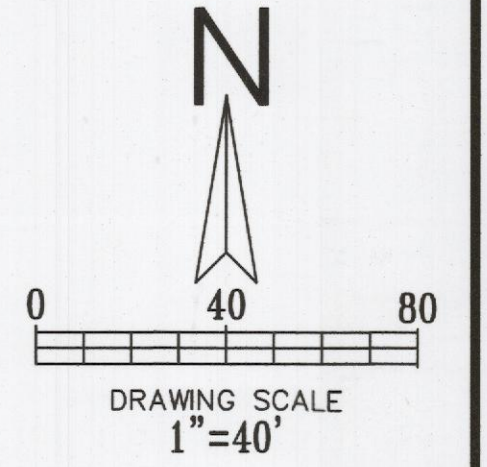
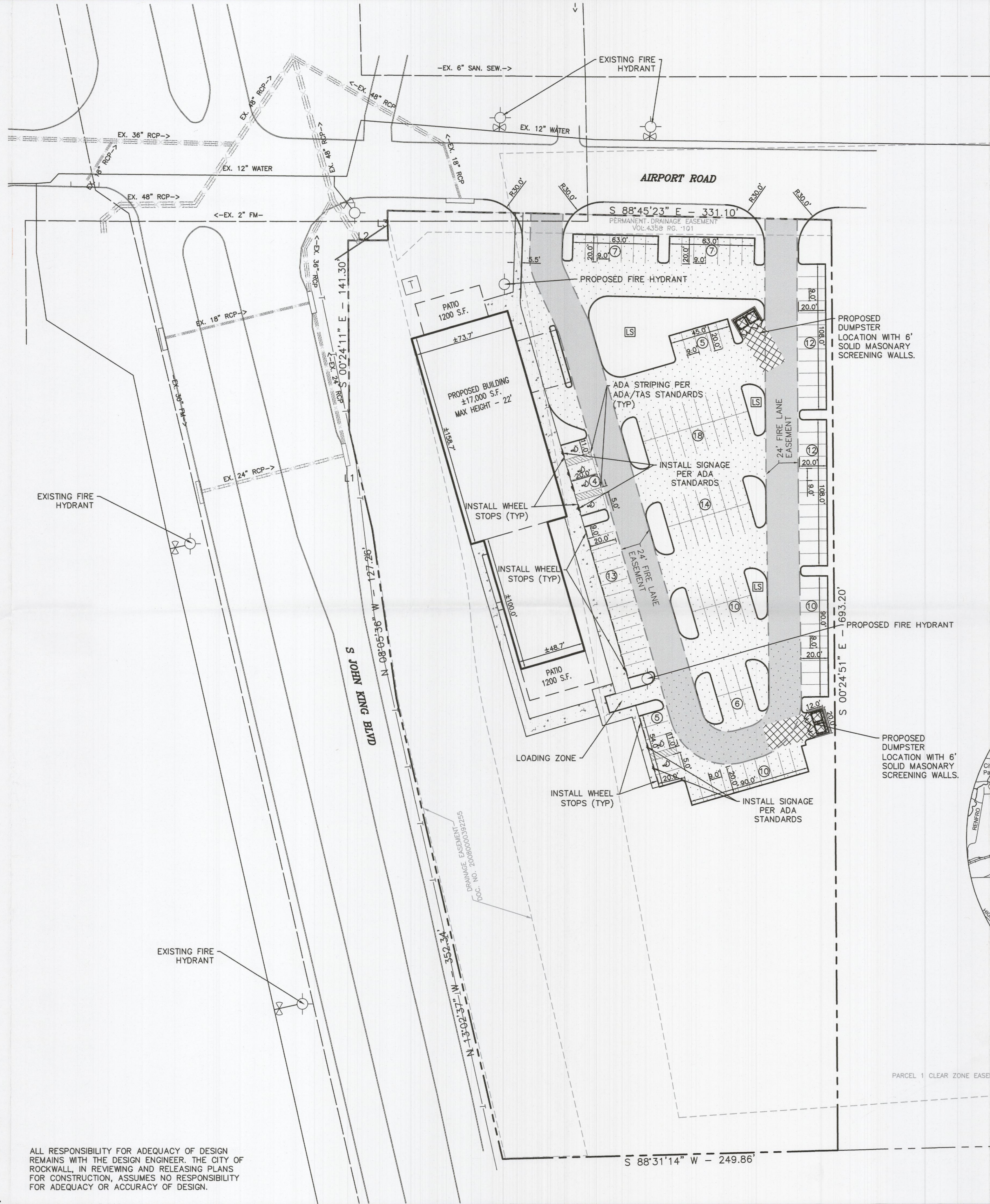
Sent from my iPad

This email was scanned by Bitdefender

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

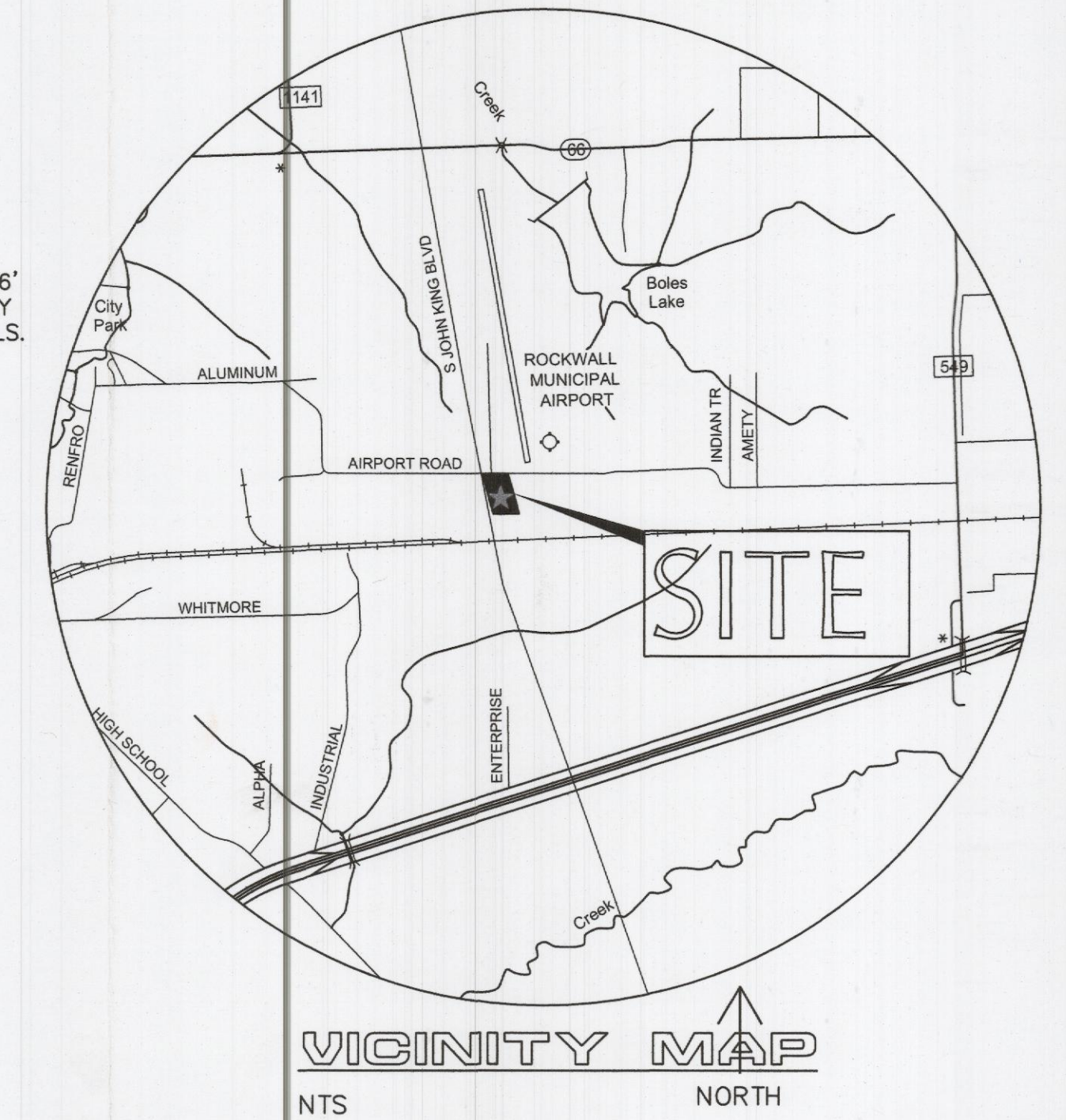
- SITE NOTES:**
1. THE PROPOSED BUILDINGS WILL BE FIRE SPRINKLERED.
 2. ALL DIMENSIONS ARE TO FACE OF CURB, EDGE OF PAVEMENT, FACE OF BUILDING OR AS OTHERWISE INDICATED.
 3. ALL SIDEWALKS SHALL MAINTAIN A 2% MAXIMUM CROSS SLOPE AND 5% MAXIMUM IN THE DIRECTION OF PEDESTRIAN TRAVEL. ALL ADA SIDEWALKS SHOULD INCLUDE ALL LANDINGS, MARKINGS, ETC AS REQUIRED BY CODE.
 4. ANY CONSTRUCTION OR BUILDING NECESSARY TO COMPLETE THIS SITE PLAN REQUEST MUST CONFORM TO THE REQUIREMENTS SET FORTH BY THE UNIFIED DEVELOPMENT CODE, THE 2015 INTERNATIONAL BUILDING CODE, THE ROCKWALL MUNICIPAL CODE OF ORDINANCES, CITY ADOPTED ENGINEERING AND FIRE CODES AND WITH ALL OTHER APPLICABLE REGULATORY REQUIREMENTS ADMINISTERED AND/OR ENFORCED BY THE STATE AND FEDERAL GOVERNMENT.
 5. THE MECHANICAL EQUIPMENT SHALL BE ROOF MOUNTED AND BE SCREENED FROM PUBLIC VIEW.

SITE DATA TABLE	
ZONING:	COMMERCIAL
LAND USE:	OFFICE/WAREHOUSE BUILDINGS
SITE ACREAGE:	5.13 ACRES (223,607 SQ FT)
BUILDING FOOTPRINT:	17,000 SQUARE FEET
BUILDING AREA:	17,000 SQUARE FEET
OPEN SPACE:	133,982.4/223,607 : 59.9%
PAVED SURFACE AREA:	89,624.6/223,607 : 40.1%
BUILDING HEIGHT:	1 STORY (22'-0" MAX)
PARKING REQUIRED:	85 PARKING SPACES
ACCESSIBLE PARKING REQUIRED:	4 PARKING SPACES
PARKING PROVIDED:	133 PARKING SPACES (6 ACCESSIBLE PARKING SPACES INCLUDED)
LOADING SPACE REQUIRED:	1 LOADING SPACE
LOADING SPACE PROVIDED:	1 LOADING SPACES



LEGEND

- EXISTING CURB
- PROPOSED CURB
- PARKING SPACES IN A ROW
- PROPOSED LANDSCAPING
- PROPOSED FIRELANE
- PROPOSED TRANSFORMER
- 4" PROPOSED SIDEWALK 3,600 PSI REINFORCED CONCRETE WITH #3 BARS AT 18" CENTERS. (MINIMUM 6.5 SACK MIX)
- 6" PROPOSED PAVEMENT 4,500 PSI REINFORCED CONCRETE WITH #3 BARS AT 18" CENTERS. (MINIMUM 7.0 SACK MIX).
- 7" 4,500 MINIMUM PSI REINFORCED CONCRETE ON STABILIZED AND COMPACTED SUBGRADE PER GEOTECHNICAL REPORT. (MINIMUM 7.0 SACK MIX) (PROPOSED FIRE LANE)
- 8" 4,500 PSI REINFORCED (NO. 5 @ 18" ON CENTER, EACH WAY) CONCRETE PAVEMENT ON COMPACTED SUBGRADE (PER GEOTECHNICAL REPORT) (MINIMUM 7.0 SACK MIX).



**!!! CAUTION !!!
UNDERGROUND UTILITIES**

EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION SUPPLIED BY VARIOUS PARTIES. THE ENGINEER DOES NOT ASSUME THE RESPONSIBILITY FOR THE UTILITY LOCATIONS SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR(S) TO VERIFY THE HORIZONTALLY AND VERTICALLY LOCATION OF ALL UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION, TO TAKE PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED AND NOTIFY THE ENGINEER OF ALL CONFLICTS OF THE WORK WITH EXISTING FACILITIES. THE CONTRACTOR SHALL PROTECT AND MAINTAIN ALL UTILITIES FROM DAMAGE DURING CONSTRUCTION. ANY DAMAGE BY THE CONTRACTOR TO UTILITIES SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT THEIR OWN EXPENSE.

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

CALL: TEXAS ONE CALL @ 1-800-245-4545 AT LEAST 48 HRS PRIOR TO CONSTRUCTION.

CUMULUS DESIGN
Firm #14810
2080 N. Highway 360, Suite 240
Grand Prairie, Texas 75050
Tel. 214.235.0367

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF REVIEW UNDER THE AUTHORITY OF PAUL CRAGUN, P.E. NO. 112767 ON 07/30/21.

CONCEPT PLAN
BOYS AND GIRLS CLUB
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

PLOT DATE	07/30/21
DRAWING SCALE	1" = 40'
PROJECT NUMBER	CD21021
SHEET NUMBER	CP

Legal Description

All that, certain lot, tract or parcel of land situated in the DAVID HARR SURVEY, ABSTRACT NO. 102, City of Rockwall, Rockwall County, Texas, and being a part of a 6.177 acres tract of land as described in a Special Warranty deed from Bobby Frank Athey, Jo An Athey and Jackie Ray Athey to Julie Catherine Marshall, Ann Elizabeth Holley and Billy H. Athey, Jr., dated December 22, 2006 and being recorded in Volume 4875, Page 125 of the Official Public Records of Rockwall County, Texas, and Being more particularly described as follows:

BEGINNING at a 1/2" iron rod found for corner in the north right-of-way line of M.K. & T. Railroad, a 100 foot right-of-way, said point being at the southeast corner of said 6.177 acres tract of land, said point also being at the southwest corner of a 6.177 acres tract of land as described in a Special Warranty deed from Bobby Frank Athey, Jo An Athey and Jackie Ray Athey to Bobby Frank Athey dated December 22, 2006 and being recorded in Volume 4875, Page 117 of the Official Public Records of Rockwall County, Texas;

THENCE S. 88 deg. 21 min. 10 sec. W. along said right-of-way line, a distance of 250.10 feet to a 1/2" iron rod found for corner in the east right-of-way line of John King Boulevard SH 205 bypass, a variable width right-of-way per deed recorded in Volume 5342. Page 256 of the Official Public Records of Rockwall County, Texas;

THENCE N. 13 deg. 13 min. 12 sec. W. along said right-of-way line, a distance of 351.97 feet to a 1/2" iron rod found for corner;

THENCE N. 08 deg. 15 min. 40 sec. W. along said right-of-way line, a distance of 127.26 feet to a 1/2" iron rod found for corner;

THENCE N. 13 deg. 09 min. 48 sec. W. along said right-of-way line, a distance of 76.52 feet to a 1/2" iron rod found for corner in the west boundary line of said Marshall 6.117 acres tract;

THENCE N. 00 deg. 34 min. 55 sec. W. along the west boundary line of said Marshall 6.117 acres tract, a distance of 141.41 feet to a 1/2" iron rod found for corner in the south right-of-way line of said Bypass;

THENCE EAST, along said right-of-way line, a distance of 29.85 feet to a 1/2" iron rod found for corner;

THENCE NORTH, along said right-of-way line, a distance of 3.54 feet to a 1/2" iron rod found for corner in the south right-of-way line of Airport Road per deed recorded in Volume 6002, Page 270 of the Official Public records of Rockwall County. Texas;

THENCE N. 87 deg. 51 min. 59 sec. E. along said right-of-way line, a distance of 330.97 feet to a 1/2" iron rod found for corner in the east boundary line of said Marshall 6.117 acres tract;

THENCE S 00 deg. 34 min. 55 sec. E. along the east line of said tract, a distance of 693.20 feet to the POINT OF BEGINNING and containing 220,722 square feet or 5.07 acres of land.

Letter of Explanation

Boys & Girls Club

On behalf of The Boys & Girls Club of America, Masterplan requests approval of a change of zoning from Agriculture District to Light Industrial District on the approximately 5-acre property located at the southeast corner of N. John King Boulevard and Airport Road. The Boys & Girls Club of Northeast Texas has plans to relocate from 915 N. Goliad Street in Rockwall to the new facility planned at the subject property. The re-location will allow for new and improved facility owned by the Boys & Girls Club.

The Boys & Girls Club focuses on engaging youth in a healthy learning environment to help them develop to become productive, caring and responsible citizens. This mission is based upon over a hundred years of providing an outlet for children to grow and be mentored by their local community. Services to youth that particularly fill a need include youth development during out of school time when some children are most vulnerable. Their mission includes five core programs: arts, sports and recreation, leadership and service, education and health and wellness. Although the request for a change of zoning is not formally tied to specific improvements, the improvement plans include building an approximately 17,000-square foot one-story building for activities, meeting rooms, offices and other uses to support the mission and goal of the Boys & Girls Club of America.

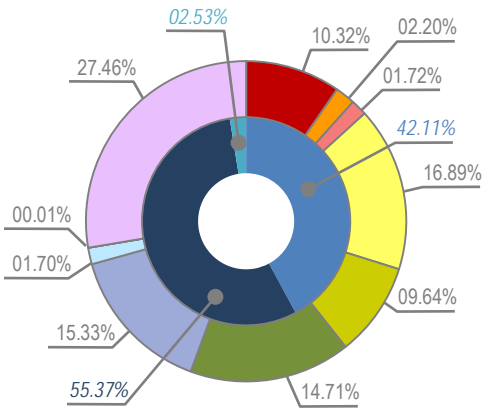
The change of zoning is necessary to enable development as the current zoning of Agriculture prohibits most use and development types. The Industrial District will accommodate the development while aligning with the Future Land Use Map of the Rowlett Comprehensive Plan. The Future Land Use Map calls for Technology and Employment Center for the subject property. Light Industrial zoning makes since near the airport and industrial and other employment center uses slated for this area.

01 CENTRAL DISTRICT

DISTRICT DESCRIPTION

The *Central District* is composed of a wide range of land uses that vary from single-family to industrial. The district's residential areas consist of suburban residential (e.g. *Park Place*), estate and rural residential (e.g. *Rolling Meadows Subdivision*), and higher density residential developments (e.g. *Evergreen Senior Living*). The *Central District* also incorporates a high volume of industrial land uses adjacent to the *Union Pacific/Dallas Garland and Northeastern Rail Road* line that bisects the district -- and *City* -- in an east/west direction. The *Ralph Hall Municipal Airport* and several other large public/school facilities are also located within the boundaries of this district.

John King Boulevard Trail Plan
Rest Stop/Trailblazer Pylon



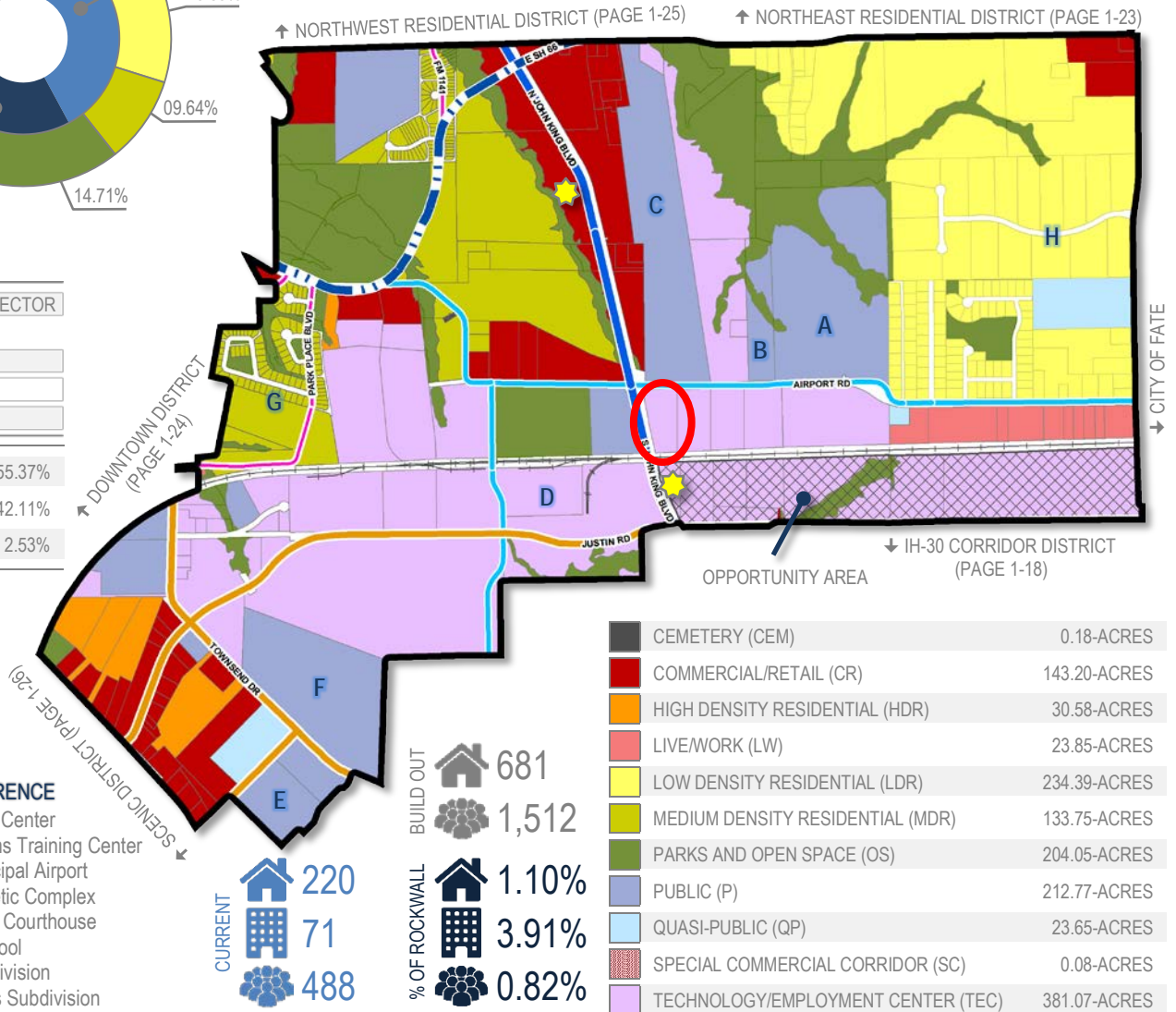
Category	Percentage
COMMERCIAL	55.37%
RESIDENTIAL	42.11%
MIXED USE	2.53%

DISTRICT STRATEGIES

The *Central District* still has some key vacant and underutilized tracts of land that are anticipated to shape the area moving forward. Taking these areas into consideration the following are the strategies for this district:

- 1 Live/Work.** The live/work designation in this district is intended to provide flexibility for land owners, adjacent to the railroad tracks, to transition their properties -- *when appropriate* -- to low intensity office/retail land uses that are similar in scale and scope to the adjacent residential properties.
- 2 Suburban Residential.** While many of the larger tracts in this area are not large enough to support a master planned community (*which is characteristic of Northern Estates and Northwest Residential Districts*), any new *Suburban Residential* developments should include a mix of larger to mid-sized lots. Lots in these developments should *not* be smaller than existing *Suburban Residential* lots in this district, but should be comparable in size to newer developments (*i.e. Ridgecrest Subdivision*). In addition, newer subdivisions adjacent to existing larger lot subdivisions should provide a transition (*e.g. larger lots or a large landscape buffer*) adjacent to the existing subdivision.
- 3 Commercial/Retail Centers.** The commercial/retail centers in this district are intended to support existing and proposed residential developments, and should be compatible in scale with adjacent residential structures (*i.e. are more characteristic of neighborhood/convenience centers*); however, areas adjacent to John King Boulevard should be capable of accommodating mid to large-scale commercial users. All commercial developments should incorporate appropriate screening (*e.g. berms, landscaping and large buffers*) to transition uses.
- 4 Industrial/Special Commercial Corridor Opportunity Area.** The area south of the railroad tracks that is indicated by a crosshatched pattern represents an opportunity area in the City of Rockwall. Due to its adjacency to the railroad tracks, the land is naturally suitable for *Technology/Industrial* land uses; however, due to the land's adjacency to strategically located parcels along IH-30 the land could be utilized as part of a larger development in the *Special Commercial Corridor*.
- 5 John King Boulevard Trail Plan.** A ten (10) foot hike/bike trail should be incorporated along John King Boulevard with rest stops and signage as indicated in *Appendix 'B'* of this Comprehensive Plan.

=SUBJECT PROPERTY



POINTS OF REFERENCE

- A. Animal Adoption Center
- B. Regional Firearms Training Center
- C. Ralph Hall Municipal Airport
- D. Leon Tuttle Athletic Complex
- E. Rockwall County Courthouse
- F. Utley Middle School
- G. Park Place Subdivision
- H. Rolling Meadows Subdivision

CURRENT

- 220
- 71
- 488

% OF ROCKWALL

- 1.10%
- 3.91%
- 0.82%

BUILD OUT

- 681
- 1,512

LEGEND:

	Land Use <i>NOT</i> Permitted
P	Land Use Permitted <i>By-Right</i>
P	Land Use Permitted with Conditions
S	Land Use Permitted Specific Use Permit (SUP)
X	Land Use Prohibited by Overlay District
A	Land Use Permitted as an Accessory Use

PERMITTED LAND USES IN AN LIGHT INDUSTRIAL (LI) DISTRICT

LAND USE SCHEDULE	LAND USE DEFINITION REFERENCE [Reference Article 13, Definitions]	CONDITIONAL USE REFERENCE Reference Article 04, Permissible Uses	LIGHT INDUSTRIAL (LI) DISTRICT
AGRICULTURAL AND ANIMAL RELATED LAND USES	2.02(A)	2.03(A)	
Agricultural Uses on Unplatted Land	(1)		P
Animal Boarding/Kennel without Outside Pens	(2)	(2)	P
Animal Clinic for Small Animals without Outdoor Pens	(3)	(3)	P
Animal Hospital or Clinic	(4)		P
Animal Shelter or Loafing Shed	(6)		P
Community Garden	(11)	(7)	S
Urban Farm	(12)	(8)	S
RESIDENTIAL AND LODGING LAND USES	2.02(B)	2.03(B)	
Caretakers Quarters/Domestic or Security Unit	(3)		P
Commercial Parking Garage	(6)		A
Limited-Service Hotel	(10)		S
Full-Service Hotel	(11)	(8)	S
Residence Hotel	(12)		S
Motel	(13)		S
INSTITUTIONAL AND COMMUNITY SERVICE LAND USES	2.02(C)	2.03(C)	
Assisted Living Facility	(1)	(1)	S
Blood Plasma Donor Center	(2)		P
Cemetery/Mausoleum	(3)		P
Church/House of Worship	(4)	(2)	S
College, University, or Seminary	(5)		P
Convalescent Care Facility/Nursing Home	(6)		S
Congregate Care Facility/Elderly Housing	(7)	(3)	S
Crematorium	(8)		S
Daycare with Seven (7) or More Children	(9)	(4)	S
Emergency Ground Ambulance Services	(10)		P
Government Facility	(12)		P
Hospice	(14)		S
Hospital	(15)		P
Public Library, Art Gallery or Museum	(16)		P
Mortuary or Funeral Chapel	(17)		P
Local Post Office	(18)		P
Regional Post Office	(19)		P
Prison/Custodial Institution	(20)		P
Public or Private Primary School	(21)	(7)	P
Public or Private Secondary School	(22)	(8)	P
Rescue Mission or Shelter for the Homeless	(24)		P
Social Service Provider (Except Rescue Mission or Homeless Shelter)	(25)		P
OFFICE AND PROFESSIONAL LAND USES	2.02(D)	2.03(D)	
Financial Institution with Drive-Through	(1)	(1)	P

LEGEND:

	Land Use <i>NOT</i> Permitted
P	Land Use Permitted <i>By-Right</i>
P	Land Use Permitted with Conditions
S	Land Use Permitted Specific Use Permit (SUP)
X	Land Use Prohibited by Overlay District
A	Land Use Permitted as an Accessory Use

PERMITTED LAND USES IN AN LIGHT INDUSTRIAL (LI) DISTRICT

LAND USE SCHEDULE	LAND USE DEFINITION REFERENCE [Reference Article 13, Definitions]	CONDITIONAL USE REFERENCE Reference Article 04, Permissible Uses	LIGHT INDUSTRIAL (LI) DISTRICT
Financial Institution without Drive-Through	(1)		P
Office Building less than 5,000 SF	(2)		P
Office Building 5,000 SF or Greater	(2)		P
RECREATION, ENTERTAINMENT AND AMUSEMENT LAND USES	2.02(E)	2.03(E)	
Temporary Carnival, Circus, or Amusement Ride	(1)	(1)	P
Indoor Commercial Amusement/Recreation	(2)	(2)	P
Outdoor Commercial Amusement/Recreation	(3)	(3)	S
Public or Private Community or Recreation Club as an Accessory Use	(4)		P
Private Country Club	(5)		P
Golf Driving Range	(6)		P
Temporary Fundraising Events by Non-Profit	(7)	(4)	P
Indoor Gun Club with Skeet or Target Range	(8)	(5)	P
Health Club or Gym	(9)		P
Private Club, Lodge or Fraternal Organization	(10)	(6)	P
Private Sports Arena, Stadium, and/or Track	(11)		P
Public Park or Playground	(12)		P
Sexually Oriented Businesses [Art. XI; CH. 12; Municipal Code]	(13)	(7)	S
Tennis Courts (<i>i.e. Not Accessory to a Public or Private Country Club</i>)	(14)		P
Theater	(15)		P
RETAIL AND PERSONAL SERVICES LAND USES	2.02(F)	2.03(F)	
Portable Beverage Service Facility	(4)	(1)	S
Brew Pub	(5)		P
Business School	(6)		P
Catering Service	(7)		P
Temporary Christmas Tree Sales Lot and/or Similar Uses	(8)	(2)	P
Copy Center	(9)		P
Craft/Micro Brewery, Distillery and/or Winery	(10)	(3)	P
Incidental Display	(11)	(4)	P
Food Trucks/Trailers	(12)	(5)	P
Garden Supply/Plant Nursery	(13)		P
General Personal Service	(14)	(6)	S
General Retail Store	(15)		S
Hair Salon and/or Manicurist	(16)		S
Laundromat with Dropoff/Pickup Services	(17)		P
Self Service Laundromat	(18)		P
Private Museum or Art Gallery	(20)		P
Night Club, Discotheque, or Dance Hall	(21)		S
Pawn Shop	(22)		P
Permanent Cosmetics	(23)	(7)	A

LEGEND:

	Land Use <i>NOT</i> Permitted
P	Land Use Permitted <i>By-Right</i>
P	Land Use Permitted with Conditions
S	Land Use Permitted Specific Use Permit (SUP)
X	Land Use Prohibited by Overlay District
A	Land Use Permitted as an Accessory Use

PERMITTED LAND USES IN AN LIGHT INDUSTRIAL (LI) DISTRICT

LAND USE SCHEDULE	LAND USE DEFINITION REFERENCE [Reference Article 13, Definitions]	CONDITIONAL USE REFERENCE Reference Article 04, Permissible Uses]	LIGHT INDUSTRIAL (LI) DISTRICT
Temporary Real Estate Sales Office	(25)		P
Rental Store without Outside Storage and/or Display	(26)	(8)	P
Restaurant with less than 2,000 SF with Drive-Through or Drive-In	(27)	(9)	S
Restaurant with less than 2,000 SF without Drive-Through or Drive-In	(28)		P
Restaurant with 2,000 SF or more with Drive-Through or Drive-In	(27)	(10)	P
Restaurant with 2,000 SF or more without Drive-Through or Drive-In	(28)		P
Retail Store with Gasoline Sales that has Two (2) or less Dispensers (<i>i.e. a Maximum of Four [4] Vehicles</i>)	(29)		P
Retail Store with Gasoline Sales that has more than Two (2) Dispensers	(29)		P
Secondhand Dealer	(30)		P
Art, Photography, or Music Studio	(31)		P
Taxidermist Shop	(34)		P
COMMERCIAL AND BUSINESS SERVICES LAND USES	2.02(G)	2.03(G)	
Bail Bond Service	(1)		P
Building and Landscape Material with Outside Storage	(2)	(1)	P
Building and Landscape Material with Limited Outside Storage	(2)	(2)	P
Building Maintenance, Service, and Sales with Outside Storage	(3)	(3)	P
Building Maintenance, Service, and Sales without Outside Storage	(3)		P
Commercial Cleaners	(4)		P
Custom and Craft Work	(5)		P
Electrical, Watch, Clock, Jewelry and/or Similar Repair	(6)		P
Feed Store or Ranch Supply	(7)		S
Furniture Upholstery/Refinishing and Resale	(8)	(4)	P
Gunsmith Repair and Sales	(9)		P
Rental, Sales and Service of Heavy Machinery and Equipment	(10)	(5)	S
Locksmith	(11)		P
Machine Shop	(12)		P
Medical or Scientific Research Lab	(13)		P
Research and Technology or Light Assembly	(15)		P
Trade School	(17)		P
Temporary On-Site Construction Office	(18)	(6)	P
AUTO AND MARINE RELATED LAND USES	2.02(H)	2.03(H)	
Major Auto Repair Garage	(1)	(1)	S
Minor Auto repair garage	(2)	(2)	S
Automobile Rental	(3)		S
New or Used Boat and Trailer Dealership	(4)	(3)	S
Full Service Car Wash and Auto Detail	(5)	(4)	P
Self Service Car Wash	(5)	(4)	P
New and/or Used Indoor Motor Vehicle Dealership/Showroom	(6)	(5)	S
New Motor Vehicle Dealership-for Cars and Light Trucks	(7)	(6)	S

LEGEND:

	Land Use <i>NOT</i> Permitted
P	Land Use Permitted <i>By-Right</i>
P	Land Use Permitted with Conditions
S	Land Use Permitted Specific Use Permit (SUP)
X	Land Use Prohibited by Overlay District
A	Land Use Permitted as an Accessory Use

PERMITTED LAND USES IN AN LIGHT INDUSTRIAL (LI) DISTRICT

LAND USE SCHEDULE	LAND USE DEFINITION REFERENCE [Reference Article 13, Definitions]	CONDITIONAL USE REFERENCE Reference Article 04, Permissible Uses	LIGHT INDUSTRIAL (LI) DISTRICT
Used Motor Vehicle Dealership for Cars and Light Trucks}	(7)	(7)	A
Commercial Parking	(8)		P
Non-Commercial Parking Lot	(9)		P
Recreational Vehicle (RV) Sales and Service	(10)		S
Service Station	(11)	(8)	P
Towing and Impound Yard	(12)	(9)	S
Towing Service without Storage	(13)	(10)	P
Truck Rental	(14)		S
Truck Stop with Gasoline Sales and Accessory Services	(15)	(11)	S
INDUSTRIAL AND MANUFACTURING LAND USES	2.02(I)	2.03(I)	
Asphalt or Concrete Batch Plant	(1)	(1)	S
Temporary Asphalt or Concrete Batch Plant	(2)	(2)	P
Bottle Works for Milk or Soft Drinks	(3)		P
Brewery or Distillery	(4)	(3)	P
Carpet and Rug Cleaning	(5)		P
Environmentally Hazardous Materials	(6)	(4)	S
Food Processing with No Animal Slaughtering	(7)		P
Light Assembly and Fabrication	(8)		P
Heavy Manufacturing	(9)		S
Light Manufacturing	(10)		P
Metal Plating or Electroplating	(11)		S
Mining and Extraction of (Sand, Gravel, Oil and/or Other Materials)	(12)	(5)	S
Printing and Publishing	(13)		P
Salvage or Reclamation of Products Indoors	(14)		P
Salvage or Reclamation of Products Outdoors	(15)		S
Sheet Metal Shop	(16)		P
Tool, Dye, Gauge and/or Machine Shop	(17)		P
Welding Repair	(18)		P
Winery	(19)	(6)	P
WHOLESALE, DISTRIBUTION AND STORAGE LAND USES	2.02(J)	2.03(J)	
Cold Storage Plant	(1)		P
Heavy Construction/Trade Yard	(2)		P
Mini-Warehouse	(4)	(1)	P
Outside Storage and/or Outside Display	(5)	(2)	P
Recycling Collection Center	(6)		P
Warehouse/Distribution Center	(7)		P
Wholesale Showroom Facility	(8)		P
UTILITIES, COMMUNICATIONS AND TRANSPORTATION LAND USES	2.02(K)	2.03(K)	
Airport, Heliport or Landing Field	(1)		S
Antenna, as an Accessory	(2)	(1)	P

LEGEND:

	Land Use <i>NOT</i> Permitted
P	Land Use Permitted <i>By-Right</i>
P	Land Use Permitted with Conditions
S	Land Use Permitted Specific Use Permit (SUP)
X	Land Use Prohibited by Overlay District
A	Land Use Permitted as an Accessory Use

PERMITTED LAND USES IN AN LIGHT INDUSTRIAL (LI) DISTRICT

LAND USE SCHEDULE	LAND USE DEFINITION REFERENCE [Reference Article 13, Definitions]	CONDITIONAL USE REFERENCE Reference Article 04, Permissible Uses]	LIGHT INDUSTRIAL (LI) DISTRICT
Commercial Antenna	(3)	(2)	S
Antenna, for an Amateur Radio	(4)	(3)	A
Antenna Dish	(5)	(4)	A
Commercial Freestanding Antenna	(6)	(5)	P
Mounted Commercial Antenna	(7)	(6)	P
Bus Charter Service and Service Facility	(8)		P
Helipad	(9)		S
Utilities (<i>Non-Municipally Owned or Controlled</i>), Including Sanitary Landfill, Water Treatment, and Supply, and Wastewater Treatment	(10)		S
Municipally Owned or Controlled Facilities, Utilities and Uses	(11)		P
Private Streets	(12)		S
Radio Broadcasting	(13)		P
Railroad Yard or Shop	(14)		S
Recording Studio	(15)		P
Satellite Dish	(16)		A
Solar Energy Collector Panels and Systems	(17)	(7)	A
Transit Passenger Facility	(18)		S
Trucking Company	(19)		P
TV Broadcasting and Other Communication Service	(20)		P
Utilities Holding a Franchise from the City of Rockwall	(21)		P
Utility Installation Other than Listed	(22)		S
Utility/Transmission Lines	(23)		S
Wireless Communication Tower	(24)		S

CITY OF ROCKWALL

ORDINANCE NO. 21-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO APPROVE A CHANGE IN ZONING FROM AN AGRICULTURAL (AG) DISTRICT TO A LIGHT INDUSTRIAL (LI) DISTRICT FOR A 5.07-ACRE TRACT OF LAND IDENTIFIED AS TRACT 2-06 OF THE D. HARR SURVEY, ABSTRACT NO. 102, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND BEING MORE SPECIFICALLY DESCRIBED IN EXHIBIT 'A' AND FURTHER DEPICTED IN EXHIBIT 'B' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Maxwell Fisher of Masterplan on behalf of Saro Partners, LLC for a change in zoning from an Agricultural (AG) District to a Light Industrial (LI) District for a 5.07-acre tract of land identified as Tract 2-06 of the D. Harr Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, located on the southeast corner of the intersection of Airport Road and John King Boulevard, and more fully described in *Exhibit 'A'* and depicted in *Exhibit 'B'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, Texas, as heretofore amended, be and the same are hereby amended by amending the zoning map of the City of Rockwall so as to change the zoning of the *Subject Property* from an Agricultural (AG) District to a Light Industrial (LI) District;

SECTION 2. That the *Subject Property* shall be used only in the manner and for the purposes provided for a Light Industrial (LI) District as stipulated in Section 01.01, *Use of Land and Buildings*, of Article 04, *Permissible Uses*; Section 05.01, *General Industrial District Standards*; and Section 05.02, *Light Industrial (LI) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting of this zoning change, and as maybe amended in the future;

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in the zoning described herein;

SECTION 4. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 5. If any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code (UDC) of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable; and

SECTION 6. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be and the same are hereby repealed, and all other ordinances of the City of Rockwall not in conflict with the provisions of this ordinance shall remain in full force and effect;

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 4TH DAY OF OCTOBER, 2021.

Kevin Fowler, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: September 20, 2021

2nd Reading: October 4, 2021

Exhibit 'A'
Legal Description

All that, certain lot, tract or parcel of land situated in the DAVID HARR SURVEY, ABSTRACT NO. 102, City of Rockwall, Rockwall County, Texas, and being a part of a 6.177 acres tract of land as described in a Special Warranty deed from Bobby Frank Athey, Jo An Athey and Jackie Ray Athey to Julie Catherine Marshall, Ann Elizabeth Holley and Billy H. Athey, Jr., dated December 22, 2006 and being recorded in Volume 4875, Page 125 of the Official Public Records of Rockwall County, Texas, and Being more particularly described as follows:

BEGINNING at a 1/2" iron rod found for corner in the north right-of-way line of M.K. & T. Railroad, a 100 foot right-of-way, said point being at the southeast corner of said 6.177 acres tract of land, said point also being at the southwest corner of a 6.177 acres tract of land as described in a Special Warranty deed from Bobby Frank Athey, Jo An Athey and Jackie Ray Athey to Bobby Frank Athey dated December 22, 2006 and being recorded in Volume 4875, Page 117 of the Official Public Records of Rockwall County, Texas;

THENCE S. 88 deg. 21 min. 10 sec. W. along said right-of-way line, a distance of 250.10 feet to a 1/2" iron rod found for corner in the east right-of-way line of John King Boulevard SH 205 bypass, a variable width right-of-way per deed recorded in Volume 5342. Page 256 of the Official Public Records of Rockwall County, Texas;

THENCE N. 13 deg. 13 min. 12 sec. W. along said right-of-way line, a distance of 351.97 feet to a 1/2" iron rod found for corner;

THENCE N. 08 deg. 15 min. 40 sec. W. along said right-of-way line, a distance of 127.26 feet to a 1/2" iron rod found for corner;

THENCE N. 13 deg. 09 min. 48 sec. W. along said right-of-way line, a distance of 76.52 feet to a 1/2" iron rod found for corner in the west boundary line of said Marshall 6.117 acres tract;

THENCE N. 00 deg. 34 min. 55 sec. W. along the west boundary line of said Marshall 6.117 acres tract, a distance of 141.41 feet to a 1/2" iron rod found for corner in the south right-of-way line of said Bypass;

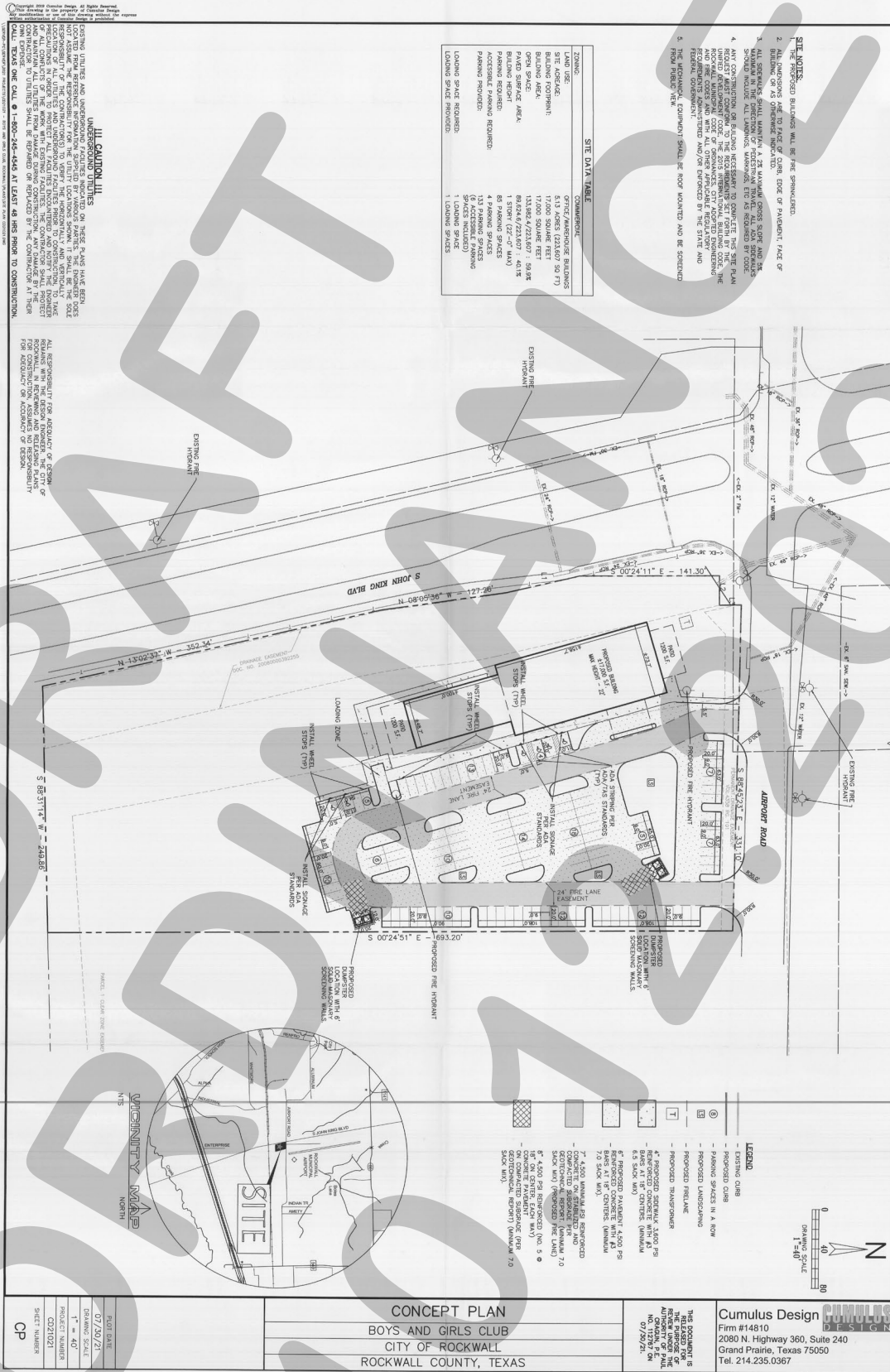
THENCE EAST, along said right-of-way line, a distance of 29.85 feet to a 1/2" iron rod found for corner;

THENCE NORTH, along said right-of-way line, a distance of 3.54 feet to a 1/2" iron rod found for corner in the south right-of-way line of Airport Road per deed recorded in Volume 6002, Page 270 of the Official Public records of Rockwall County. Texas;

THENCE N. 87 deg. 51 min. 59 sec. E. along said right-of-way line, a distance of 330.97 feet to a 1/2" iron rod found for corner in the east boundary line of said Marshall 6.117 acres tract;

THENCE S 00 deg. 34 min. 55 sec. E. along the east line of said tract, a distance of 693.20 feet to the POINT OF BEGINNING and containing 220,722 square feet or 5.07 acres of land.

Exhibit 'B' Zoning Exhibit





CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: October 12, 2021
APPLICANT: Darrell McCallum
CASE NUMBER: Z2021-038; *Specific Use Permit for a Detached Garage at 1 Soapberry Lane*

SUMMARY

Hold a public hearing to discuss and consider a request by Darrell McCallum for the approval of a Specific Use Permit (SUP) for a *Detached Garage* that exceeds the maximum permissible size for a detached garage on a 1.2080-acre parcel of land identified as Lot 6, Block A, Grady Rash Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family (SF-10) District, addressed as 1 Soapberry Lane, and take any action necessary.

BACKGROUND

On June 20, 1959, the City Council approved *Ordinance No. 59-02* annexing the subject property in to the City of Rockwall. Based on the City's historic zoning maps, the subject property was zoned Single-Family 2 (SF-2) District as of January 3, 1972. Between January 3, 1972 and March 16, 1983, the subject property was rezoned from a Single-Family 2 (SF-2) District to a Single-Family 10 (SF-10) District. On August 24, 1984, the City Council approved a final plat [*i.e. Case No. PZ1984-027-01*] for Lots 1-5, Block A, Grady Rash Subdivision. On June 1, 2015, the City Council approved a replat [*i.e. Case No. P2015-014*] for Lots 6-8, Block A, Grady Rash Subdivision creating the subject property. According to the Rockwall Central Appraisal District (RCAD), there is a 3,372 SF single-family home situated on the subject property that was constructed in 1972. Additionally, there is a 720 SF storage building that was constructed in 2000.

PURPOSE

The applicant -- *Darrell McCallum* -- is requesting the approval of a Specific Use Permit (SUP) to allow for the construction of a detached garage that exceeds the maximum allowable size as stipulated by Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC).

ADJACENT LAND USES AND ACCESS

The subject property is addressed as 1 Soapberry Lane. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is Northshore, Phase 2A Subdivision, which was platted on June 4, 1984 and consists of 80 single-family residential lots. Beyond this is the Northshore, Phase 2B Subdivision, which was platted on March 3, 1986 and consists of 76 single-family residential lots. Both of these subdivisions are zoned Single-Family 10 (SF-10) District.

South: Directly south of the subject property are three (3) single-family residential lots (*i.e. Lots 2, 3, & 4, Block A, Grady Rash Subdivision*) that are zoned Single-Family 10 (SF-10) District. Beyond this is the takeline for Lake Ray Hubbard followed by the corporate limits of the City of Rockwall.

East: Directly east of the subject property are two (2) single-family residential lots (*i.e. Lots 7 & 8, Block A, Grady Rash Subdivision*). Beyond these lots is the Northshore, Phase 1A Subdivision, which was platted on March 25, 1981 and consists of 93 single-family residential lots. Both of these subdivisions are zoned Single-Family 10 (SF-10) District.

West: Directly west of the subject property is the takeline for Lake Ray Hubbard followed by the corporate limits for the City of Rockwall.

CHARACTERISTICS OF THE REQUEST

The applicant has submitted an application, survey, and building specifications proposing to construct a 30-foot by 40-foot (or 1,200 SF) detached garage on the subject property. The proposed structure will replace an existing metal 24-foot by 30-foot (or 720 SF) accessory building. The proposed building elevations indicate the façade of the accessory building will be metal, the structure will be less than 15-feet in height, and will incorporate a metal roof. At the Planning and Zoning Commission work session meeting the applicant indicated that he would be incorporating a stone wainscot along the northern and western boundaries of the structure. The accessory structure will be situated northwest of the primary structure and along the alleyway adjacent to the Northshore, Phase 2A Subdivision. The proposed detached garage will be situated more than 20-feet from the front façade of the primary structure and will be accessible from the existing concrete driveway via an extension of the driveway proposed by the applicant. The garage will incorporate two (2) garage bay doors allowing the storage of two (2) standard size vehicles.

CONFORMANCE WITH THE CITY'S CODES

According to Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), the Single-Family 10 (SF-10) District allows a total of two (2) accessory structures. For accessory buildings, the Single-Family 10 (SF-10) District allows one (1) accessory building at 144 SF and one (1) detached garage at 625 SF, or two (2) accessory building at 144 SF each. In addition, if a property has an existing accessory building greater than 144 SF, no additional accessory buildings or detached garages shall be permitted. Detached garages are limited to a maximum height of 15-feet. The setbacks for a detached garage in a Single-Family 10 (SF-10) District are 20-feet from the rear property line and 6-feet from the side yard property line. Detached garages are also required to have a minimum of 10-feet of separation from any other building or structure. This section of the code goes on to state, "(a)ccessory buildings and structures shall be architecturally compatible with the primary structure, and be situated behind the front façade of the primary structure ... [and] (a)ccessory buildings and structures not meeting the size requirements stipulated by this section shall require a Specific Use Permit (SUP)." In addition, the section states that detached garages "...(s)hall include one (1) garage bay door large enough to pull and park a standard size motor vehicle (*i.e. a vehicle that is a minimum of nine [9] feet by 18-feet*) inside the structure. In addition, a detached garage must be accessible from the front, rear or side yard by a standard width, concrete driveway that has a minimum length of 20-feet of driveway pavement." The code also requires a detached garage to be situated a minimum of 20-feet behind the front façade of the primary structure.

STAFF ANALYSIS

In this case, the applicant's request generally conforms to the density, setback, and height requirements for a detached garage; however, the detached garage does not adhere to the maximum allowable size. Specifically, the detached garage will exceed the permitted 625 SF by 575 SF. If the applicant's Specific Use Permit (SUP) is approved, staff has included an operational condition in the Specific Use Permit (SUP) ordinance stating that no additional accessory buildings would be permitted on the subject property. This means that a total of one (1) accessory building/detached garage will be permitted on this property. Based on the proposed size and location of the detached garage, staff should point out that this structure will have very limited visibility from the adjacent properties. Staff should also point out that the proposed detached garage does not appear to be architecturally compatible with the primary structure; however, the applicant's proposal of including a stone wainscot will be an improvement over the existing metal accessory building. With this being said, the approval of a Specific Use Permit (SUP) request is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

NOTIFICATIONS

On September 23, 2021, staff mailed 30 notices to property owners and occupants within 500-feet of the subject property. There are no Homeowner's Associations (HOAs) or Neighborhood Organizations within the 1500-foot buffer participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received the following:

- (1) One (1) property owner notification from a property owner within the notification area (*i.e. within the 500-foot buffer*) that is opposed to the applicant's request.
- (2) One (1) property owner notification from a property owner within the notification area (*i.e. within the 500-foot buffer*) that is in favor of the applicant's request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP) for a detached garage, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - a) The *Detached Garage* shall generally conform to the concept plan and the conceptual building elevations depicted in *Exhibits 'B' & 'C'* of the ordinance.
 - b) The *Detached Garage* shall not exceed a maximum size of 1,200 SF.
 - c) The *Detached Garage* shall not exceed a maximum height of 15-feet.
 - d) The subject property shall be limited to one (1) *Detached Garage*, and no additional accessory buildings shall be constructed on the subject property.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22021-035

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ¹
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST (\$100.00)

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 1 SOAPBERRY LANE

SUBDIVISION GRADY RASH SUBDIVISION LOT 6 BLOCK A

GENERAL LOCATION HWY. 66 & LAKESHORE

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING RESIDENTIAL A3 CURRENT USE STORAGE

PROPOSED ZONING RESIDENTIAL A3 PROPOSED USE GARAGE

ACREAGE 1.2 LOTS [CURRENT] LOTS [PROPOSED]

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input checked="" type="checkbox"/> OWNER	<u>DARRELL M^cCALLUM</u>	<input checked="" type="checkbox"/> APPLICANT	<u>DARRELL M^cCALLUM</u>
CONTACT PERSON	<u>DARRELL M^cCALLUM</u>	CONTACT PERSON	<u>DARRELL M^cCALLUM</u>
ADDRESS	<u>1 SOAPBERRY LANE</u>	ADDRESS	<u>1 SOAPBERRY LANE</u>
CITY, STATE & ZIP	<u>ROCKWALL TX. 75087</u>	CITY, STATE & ZIP	<u>ROCKWALL TX. 75087</u>
PHONE	<u>214-208-3394</u>	PHONE	<u>214-208-3394</u>
E-MAIL	<u>DARRELLMC57@GMAIL.COM</u>	E-MAIL	<u>DARRELLMC57@GMAIL.COM</u>

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED DARRELL M^cCALLUM [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

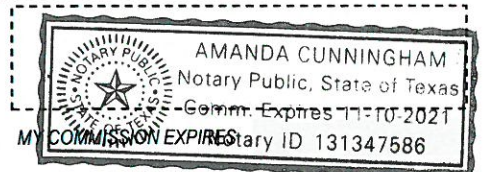
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 13 DAY OF Sept, 2021.

OWNER'S SIGNATURE

Darrell M^cCallum
[Signature]

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





Z2021-038- SUP FOR ACCESSORY BUILDING
 AT 1 SOAPBERRY LANE
 ZONING - LOCATION MAP = [icon]



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

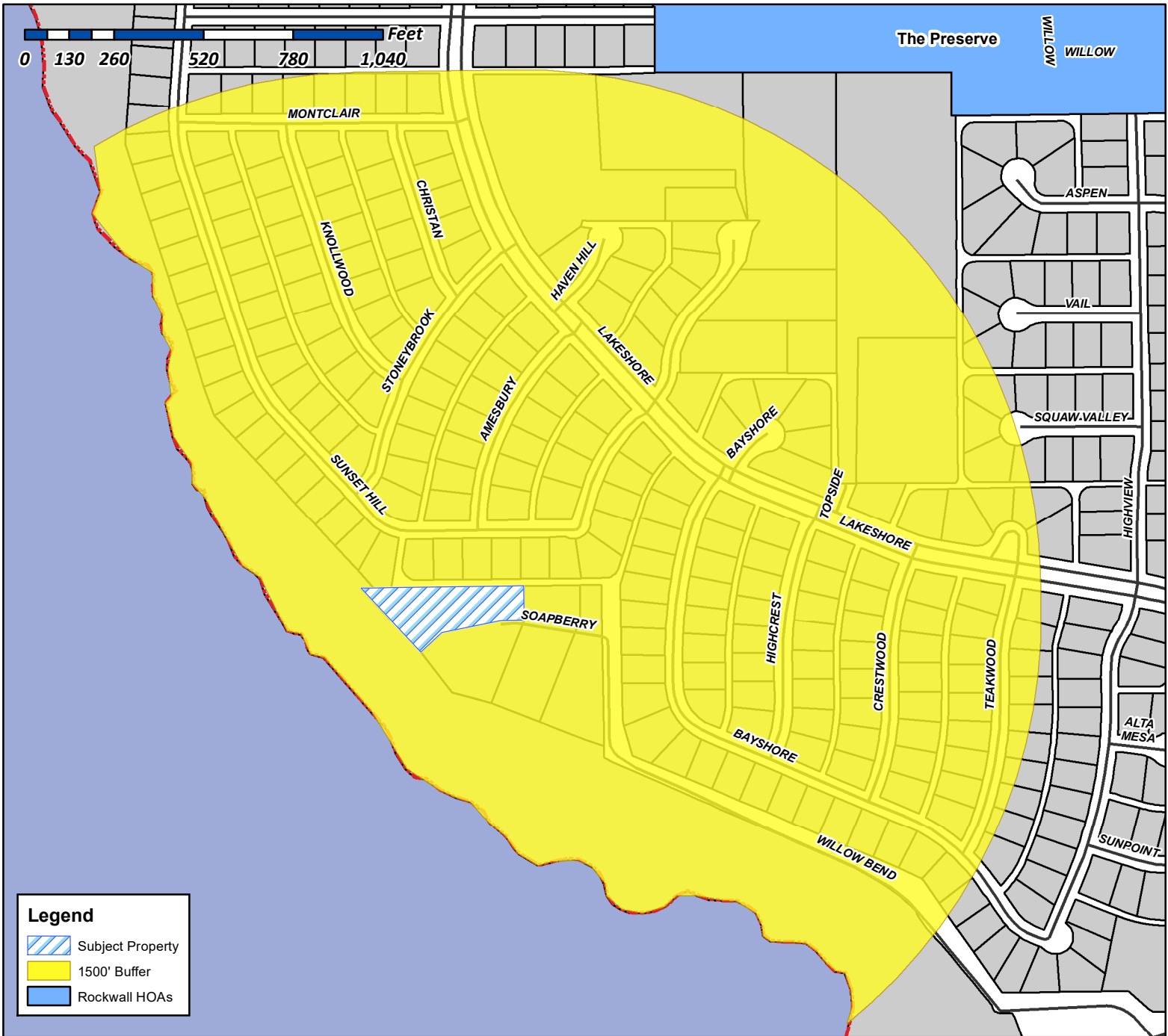




City of Rockwall

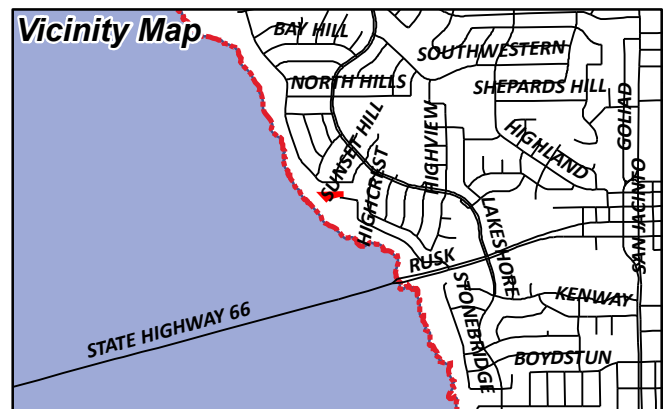
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2021-038
Case Name: SUP for Accessory Structure
Case Type: Zoning
Zoning: Single-Family 10 (SF-10) District
Case Address: 1 Soapberry Lane

Date Created: 9/14/2021
For Questions on this Case Call (972) 771-7745

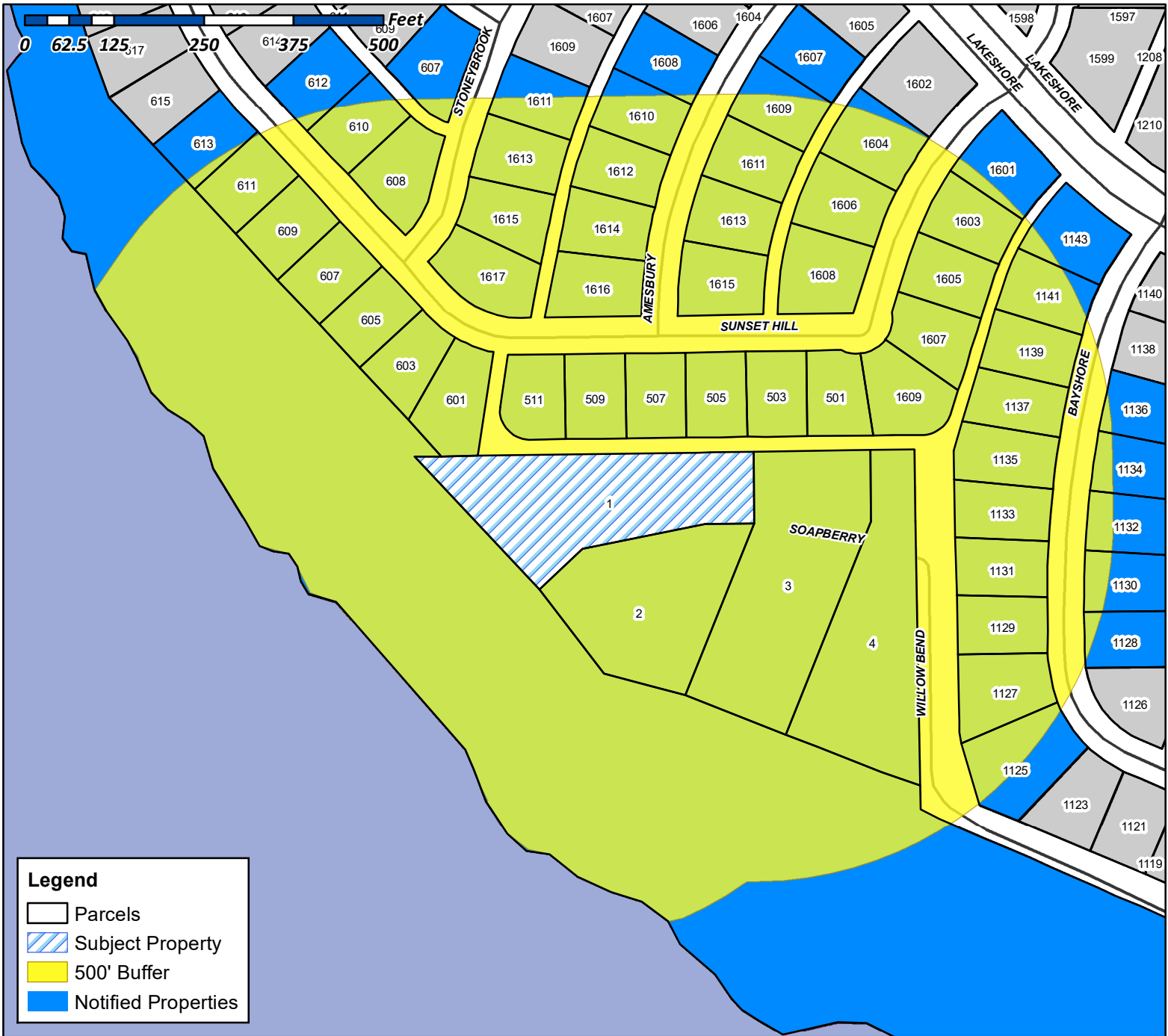




City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2021-038
Case Name: SUP for Accessory Structure
Case Type: Zoning
Zoning: Single-Family 10 (SF-10) District
Case Address: 1 Soapberry Lane



Date Created: 9/14/2021
For Questions on this Case Call (972) 771-7745

MCCALLUM DARRELL A AND SHARON F
1 SOAPBERRY LN
ROCKWALL, TX 75087

WADDLE JOHNNY
1111 BAYSHORE DR
ROCKWALL, TX 75087

VOLPERT JOHN
1125 BAYSHORE DR
ROCKWALL, TX 75087

ELDRIDGE CHARLES E II & SHELBY M
1127 BAYSHORE DR
ROCKWALL, TX 75087

WADDLE JOHNNY
1128 BAYSHORE DR
ROCKWALL, TX 75087

WISE RICHARD ALLEN AND DONALD W RASBURY
REVOCABLE LIVING TRUSTE
RICHARD ALLEN WISE AND DONALD W RASBURY
TRUSTEES
1129 BAYSHORE DR
ROCKWALL, TX 75087

EATMAN JAMES BERNARD AND GWENDOLYN
ESTHER
1130 BAYSHORE DR
ROCKWALL, TX 75087

SAUNDERS BRIAN AND LAUREN
1131 BAYSHORE DR
ROCKWALL, TX 75087

PAYNE ALLAN CLARK ETUX
1132 BAYSHORE DR
ROCKWALL, TX 75087

HENRY CHRIS S AND ANGELA D
1133 BAYSHORE DR
ROCKWALL, TX 75087

MURPHY JENNIFER E
1134 BAYSHORE DR
ROCKWALL, TX 75087

SCOTT PHILLIP AND BETHANY
1135 BAYSHORE DR
ROCKWALL, TX 75087

KELLEY CLYDE EUGENE INDIVIDUAL LIVING
TRUST
1136 BAYSHORE DR
ROCKWALL, TX 75087

HALE TERRY W AND CRYSTAL C
1137 BAYSHORE DRIVE
ROCKWALL, TX 75087

WRIGHT MICHAEL G & EDITH M
1139 BAYSHORE DR
ROCKWALL, TX 75087

GRAY JOE E ETUX
1141 BAYSHORE DR
ROCKWALL, TX 75087

KJT FLYING PROPERTIES LLC
1143 BAYSHOREDR
ROCKWALL, TX 75087

HESTER ROGER F II
1601 SUNSET HILL DR
ROCKWALL, TX 75087

HICKEY ALLEN AND TANYA
1603 SUNSET HILL DRIVE
ROCKWALL, TX 75087

STIEGELMAR RICHARD AND
STIEGELMAR JACK
1604 SUNSET HILL DR
ROCKWALL, TX 75087

DUBOSE CHRISTOPHER S AND RENEE L
1605 SUNSET HILL DRIVE
ROCKWALL, TX 75087

MULDER LINDA FAYE
1606 SUNSET HILL DR
ROCKWALL, TX 75087

JOHNSTON ALTON W & PEGGY F
1607 AMESBURY LN
ROCKWALL, TX 75087

MITCHELL DENNIS E ETUX
1607 SUNSET HILL DR
ROCKWALL, TX 75087

BURTON DAVID A & MARY KAY
1608 AMESBURY LN
ROCKWALL, TX 75087

LEAL JR FEDERICO MARTINEZ AND VERONICA
1608 SUNSET HILL DR
ROCKWALL, TX 75087

ADAMS BRAD AND KASHA
1609 AMESBURY
ROCKWALL, TX 75087

JACKSON DAMON AND TARA
1609 SUNSET HILL DR
ROCKWALL, TX 75087

TUCKER EARL W & MELINDA K
1610 AMESBURY LN
ROCKWALL, TX 75087

SCAMPERINO CHARLES AND
BRIDGETT ANN COOPER
1611 AMESBURY LANE
ROCKWALL, TX 75087

SARVER WANDA & DONALD
1611 STONEYBROOK DR
ROCKWALL, TX 75087

BURKS GLENN H & PAULETTE
1612 AMESBURY LN
ROCKWALL, TX 75087

ROGERS JOHN R & SHIRLEY J
1613 AMESBURY LN
ROCKWALL, TX 75087

HOLLY MARK A
1613 STONEYBROOK DR
ROCKWALL, TX 75087

LYNCH PATRICIA A
1614 AMESBURY LN
ROCKWALL, TX 75087

BREWER THOMAS D AND KASIE
1615 AMESBURY LN
ROCKWALL, TX 75087

CATHEY KITA
1615 STONEYBROOK DR
ROCKWALL, TX 75087

FRANK AND JOYCE BATHRICK FAMILY TRUST
FRANK T AND JOYCE E BATHRICK- CO-TRUSTEES
1616 AMESBURY LANE
ROCKWALL, TX 75087

ROTH BRIAN AND TRACY
1617 STONEYBROOK DR
ROCKWALL, TX 75087

RIDDELL RONALD SCOTT II AND SHANNON
MCCORD VRZAK
2 SOAPBERRY LN
ROCKWALL, TX 75032

RASH ROBERT D
3 SOAPBERRY LN
ROCKWALL, TX 75087

RASH RANDALL L & KAREN
4 SOAPBERRY LN
ROCKWALL, TX 75087

FERRENTINO WAYNE J
501 SUNSET HILL DR
ROCKWALL, TX 75087

MATTHEWS SYDNEY D AND BARBARA J
503 SUNSET HILL DR
ROCKWALL, TX 75087

DEAN GREG
505 SUNSET HILL DR
ROCKWALL, TX 75087

JACKSON CRAIG A & JULIEANN J
507 SUNSET HILL DR
ROCKWALL, TX 75087

PETERSON BRYCE M & SANDRA
509 SUNSET HILL DR
ROCKWALL, TX 75087

KING MARILYN
511 SUNSET HILL DR
ROCKWALL, TX 75087

STEGALL SHEY THOMAS AND REGAN LANE
601 SUNSET HILL DR
ROCKWALL, TX 75087

RANDLE CHANDLER BENTON AND SAMANTHA J
603 SUNSET HILL DR
ROCKWALL, TX 75087

HOOTON REVOCABLE TRUST
605 SUNSET HILL DR
ROCKWALL, TX 75087

GLADNEY CATHERINE DIANE SELBY
607 KNOLLWOOD DR
ROCKWALL, TX 75087

BARNETTE AMY MICHELLE AND GLENN RACHE
607 SUNSET HILL
ROCKWALL, TX 75087

KILLE ROLAND C & KAREN C
608 SUNSET HILL DR
ROCKWALL, TX 75087

ADAMS LYNWOOD D
609 SUNSET HILLDR
ROCKWALL, TX 75087

SILVA IRMA
610 SUNSET HILL DR
ROCKWALL, TX 75087

HEADRICK WILLIAM H III AND DIANNE C
611 SUNSET HILL DR
ROCKWALL, TX 75087

FLOURA EDWARD
612 SUNSET HILL
ROCKWALL, TX 75087

VANDEBURG MARK F AND PAULA R
613 SUNSET HILL DRIVE
ROCKWALL, TX 75087

STIEGELMAR RICHARD AND
STIEGELMAR JACK
7 MAGNOLIA DR
MEXICO BEACH, FL 32456

CITY OF DALLAS
DALLAS TX
, 0

KJT FLYING PROPERTIES LLC
PO BOX 1476
ROCKWALL, TX 75087

ADAMS LYNWOOD D
PO BOX 2286
ROWLETT, TX 75030

Case No. Z2021-038: SUP for a Detached Garage

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

WE HAVE LIVED AT OUR LOCATION FOR 27 YEARS. WE WILL BE IN FAVOR AS LONG AS IT DOES NOT BLOCK OUR LAKE VIEW. IF THEY COULD ALSO LOWER & THIN OUT THE BUSHES & TREES IN FRONT OF THEIR EXISTING BUILDING WOULD ALSO HELP IN MAKING A VIEW OF LAKE

Name: BYRCE M. & SANDRA PETERSON

Address: 509 SUNSET HILL DR. ROCKWALL, TX 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2021-038: SUP for a Detached Garage

Hold a public hearing to discuss and consider a request by Darrell McCallum for the approval of a Specific Use Permit (SUP) for Detached Garage that exceeds the maximum permissible size for a detached garage on a 1.2080-acre parcel of land identified as Lot 6, Block A, Grady Rash Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family (SF-10) District, addressed as 1 Soapberry Lane, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, October 12, 2021 at 6:00 PM, and the City Council will hold a public hearing on Monday, October 18, 2021 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Andrew Reyna
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, October 18, 2021 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

----- PLEASE RETURN THE BELOW FORM -----

Case No. Z2021-038: SUP for a Detached Garage

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

The current residential building of 3,372 SF has an attached garage of 640 SF and a storage building of 720 SF which is proportionately adequate for a single-family residence.

Rezoning for an additional detached garage lends itself to create additional living space i.e., mother-in-law suite, thus creating a multifamily residence. Current zone and codes do not allow this.

Blocking views of the lake from the neighborhood street and/or alley is detrimental to the property values and overall look and feel of the area.

Frank Bathrick

1616 Amesbury Lane

must receive, in
s of at least 20

change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

City of Rockwall
Planning and Zoning
Architectural Review Board

RE: Darrell & Sharon McCallum
Reconstruction of Metal Shed
1 Soapberry Lane, Rockwall, TX 75087

We wish to reconstruct a metal shed that has been on our property since the original owners built it in 1976. It is in deteriorating condition with a lot of overgrown brush. We also need a place to house two boats that we have acquired that currently don't have storage and will have to be kept outside. The new building will provide a much cleaner, more complimentary improvement to the property.

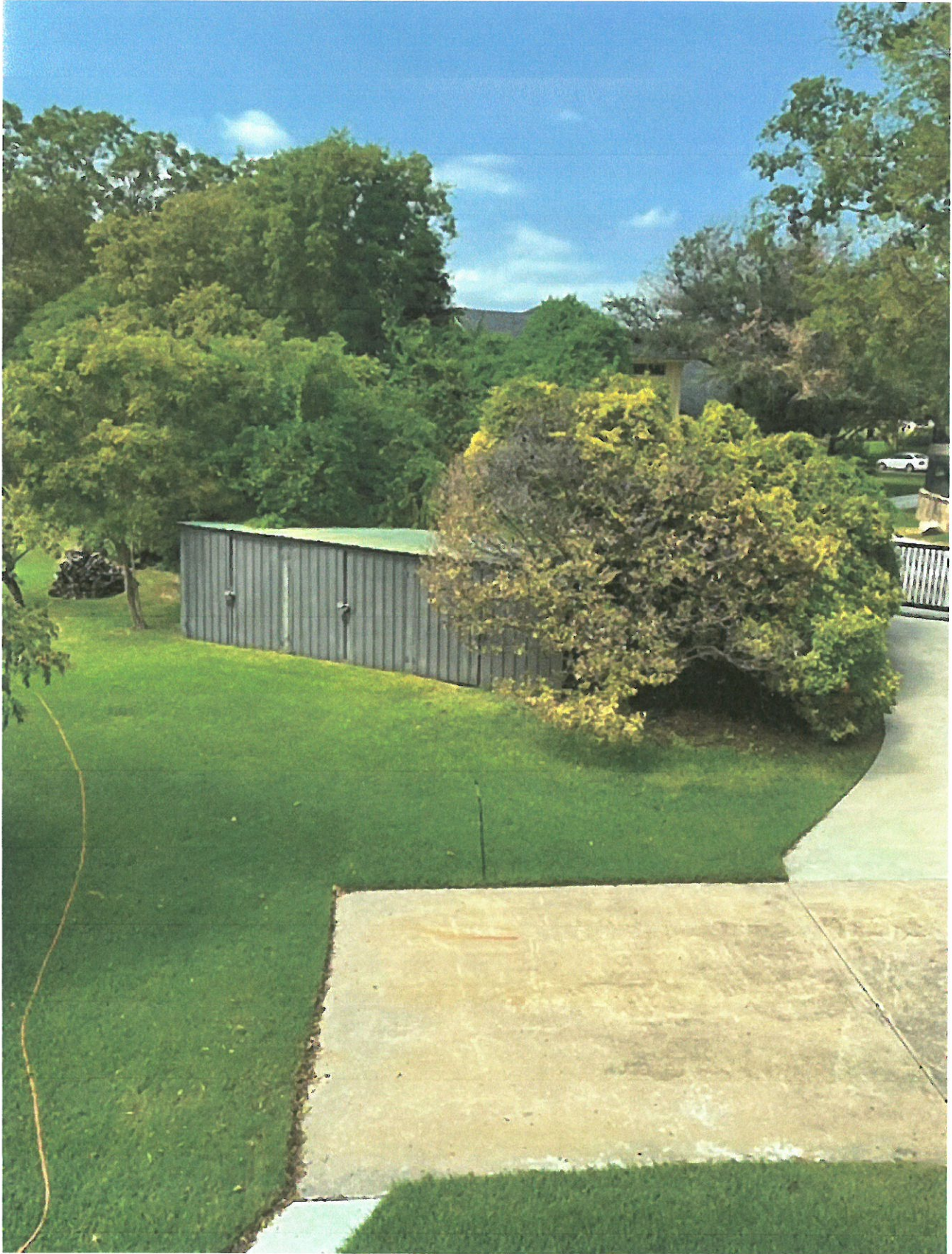
We plan to keep the building on the same footprint it now occupies, taking it to a 30' x 40' building with a concrete foundation.

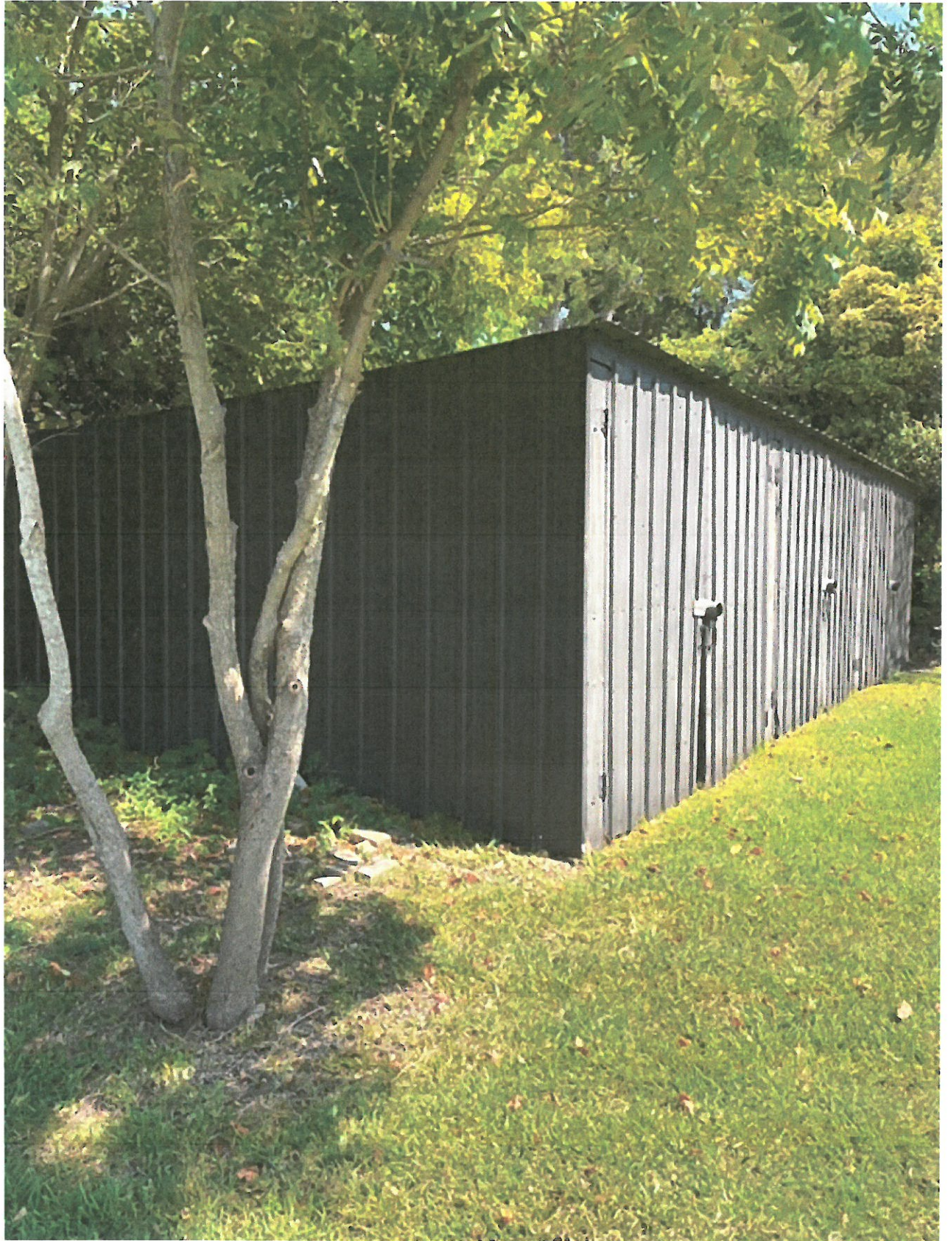
Thank you for your consideration.

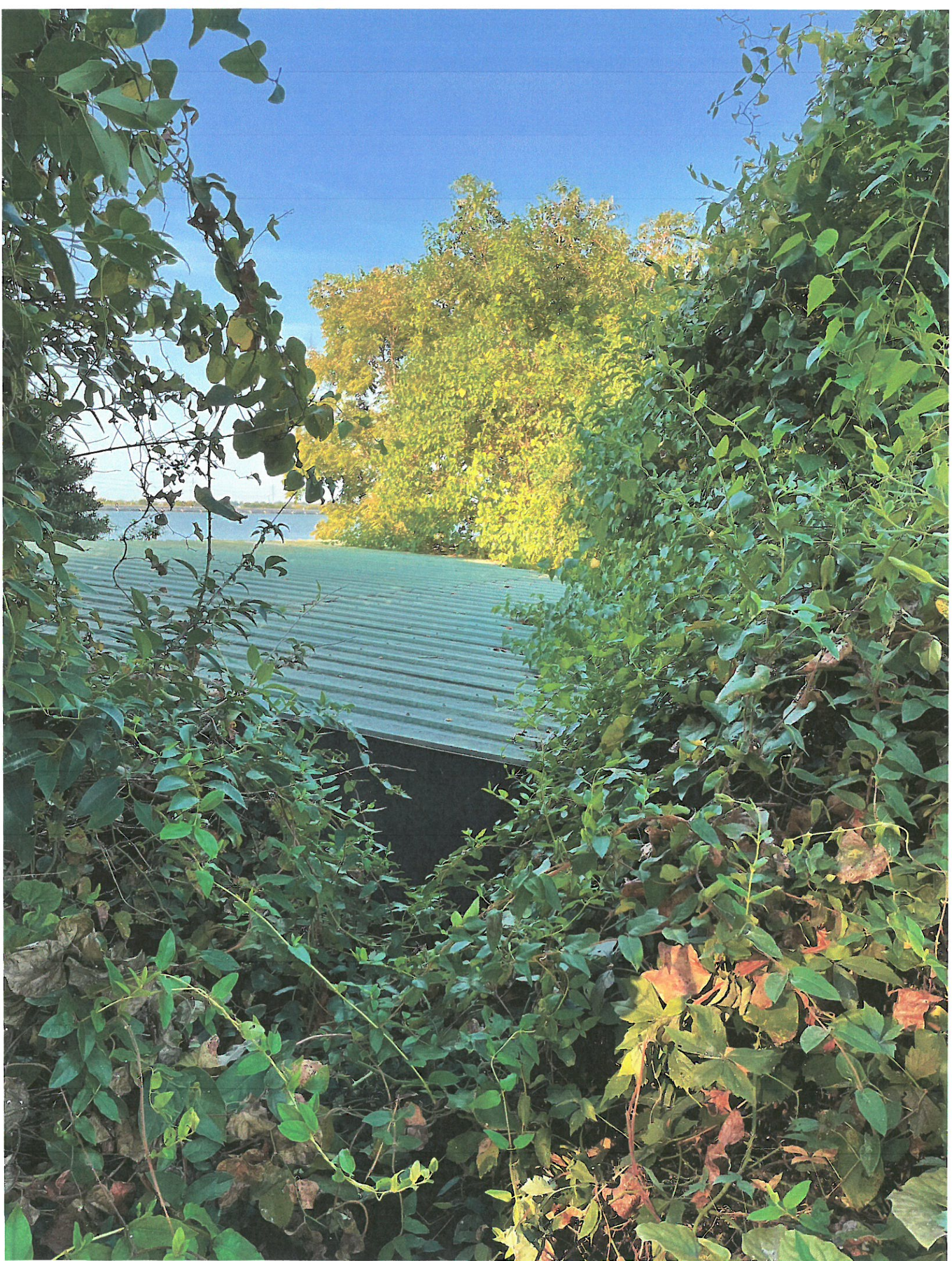
Respectfully,

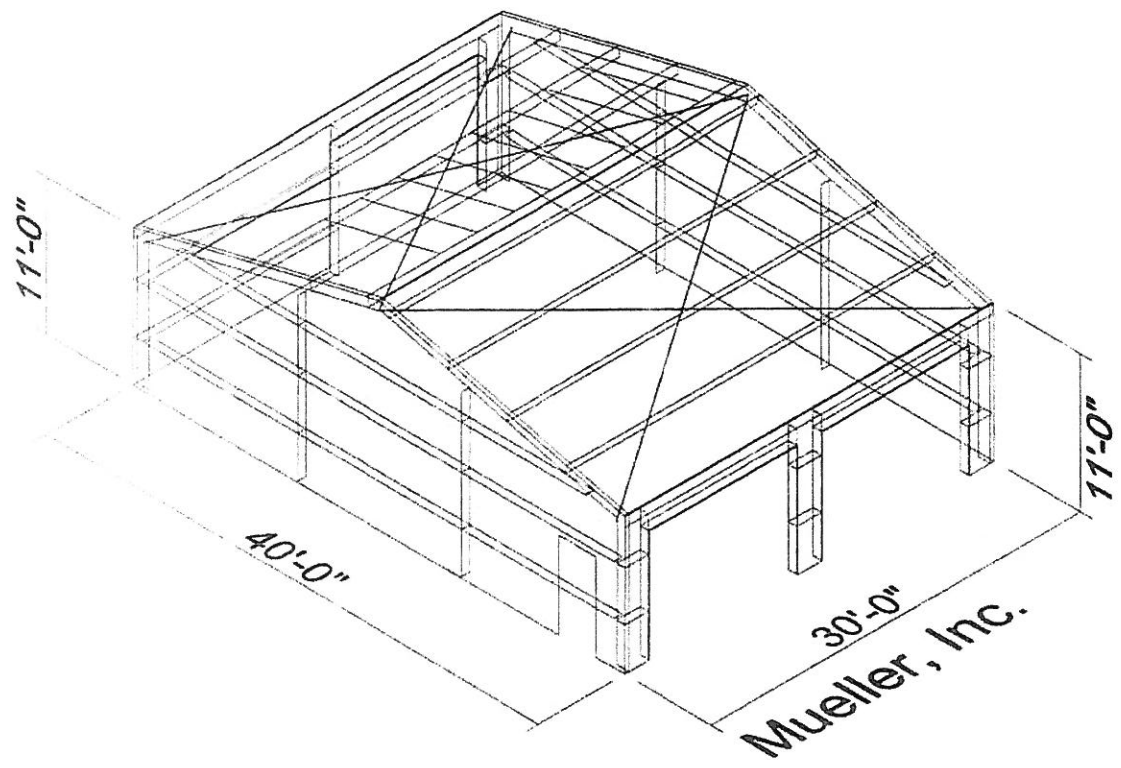
A handwritten signature in cursive script that reads "Darrell McCallum".

Darrell McCallum









~~Not to be used as an Engineered Structure~~
~~Component Order Only~~

CITY OF ROCKWALL

ORDINANCE NO. 21-XX

SPECIFIC USE PERMIT NO. S-XXX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW A *DETACHED GARAGE* THAT EXCEEDS THE MAXIMUM ALLOWABLE SIZE FOR A DETACHED GARAGE ON A 1.2080-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 6, BLOCK A, GRADY RASH ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DEPICTED AND DESCRIBED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Darrell McCallum for the approval of a Specific Use Permit (SUP) to allow a *Detached Garage* that exceeds the maximum allowable size for an detached garage on a 1.2080-acre parcel of land described as Lot 6, Block A, Grady Rash Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 1 Soapberry Lane, and being more specifically depicted and described in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) allowing a *Detached Garage* as stipulated by Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as

heretofore amended and as may be amended in the future --, and with the following conditions:

2.1. OPERATIONAL CONDITIONS

The following conditions pertain to the operation of a *Detached Garage* on the *Subject Property* and conformance to these conditions are required for continued operations:

- (1) The *Detached Garage* shall generally conform to the concept plan and the conceptual building elevations depicted in *Exhibits 'B' & 'C'* of this ordinance.
- (2) The *Detached Garage* shall not exceed a maximum size of 1,200 SF.
- (3) The *Detached Garage* shall not exceed a maximum height of 15-feet.
- (4) The subject property shall be limited to one (1) *Detached Garage*, and no additional accessory buildings shall be constructed on the subject property.

2.2. COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require compliance to the following:

- (1) Upon obtaining a *Building Permit*, should the homeowner fail to meet the minimum operational requirements set forth herein and outline in the Unified Development Code (UDC), the City Council may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Section 2.02(F), *Revocation*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC).

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 1ST DAY OF NOVEMBER, 2021.

Kevin Fowler, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: October 18, 2021

2nd Reading: November 1, 2021

Exhibit 'A'
Zoning Exhibit

Address: 1 Soapberry Lane

Legal Description: Lot 6, Block A, Grady Rash Addition



**Exhibit 'B':
Residential Plot Plan**

SURVEY PLAT



RHODES
Surveying ©

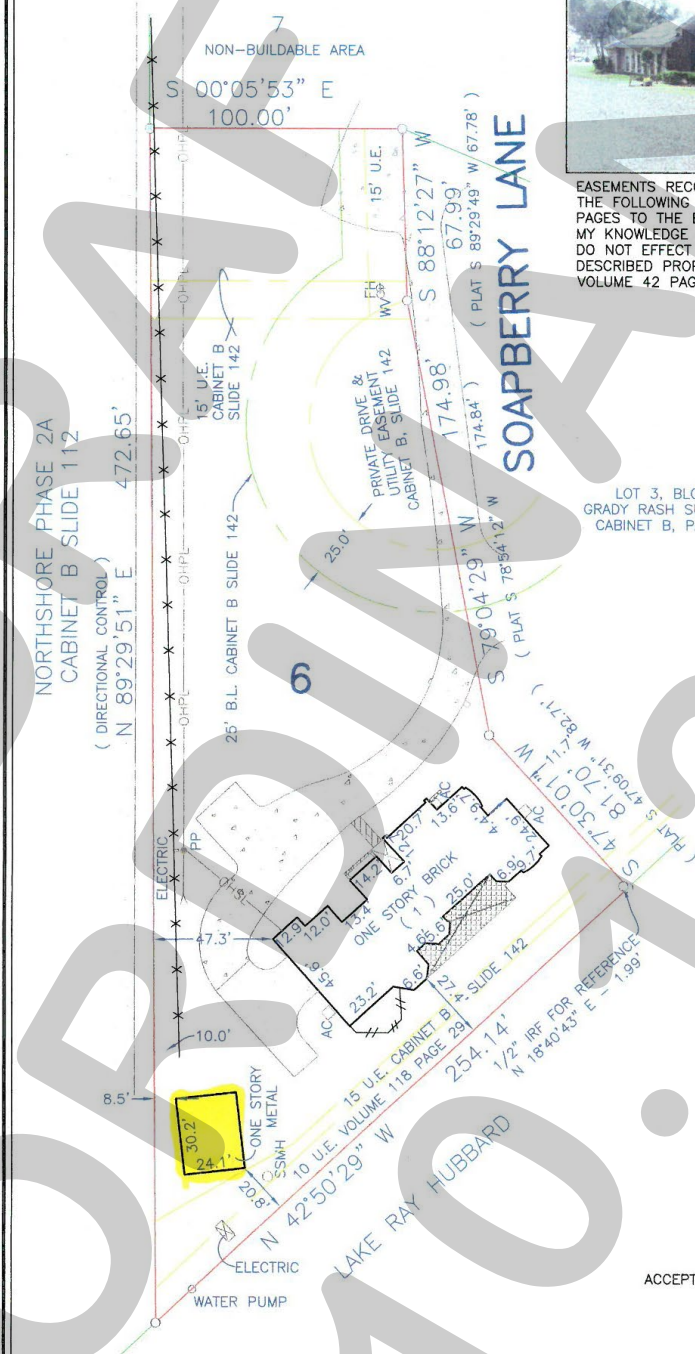
WWW.RHODESSURVEYING.COM

BRIAN S. RHODES Registered Professional Land Surveyor (972) 475-8940
This is to certify that I have, this date, made a careful and accurate survey on the ground of property located at No. 1 SOAPBERRY LANE, in the city of ROCKWALL Texas.
Lot No. 6, Block No. A
of GRADY RASH SUBDIVISION, LOTS 6, 7, AND 8, BLOCK A, an addition in the city of ROCKWALL, ROCKWALL COUNTY Texas according to the PLAT THEREOF RECORDED in CABINET I at SLIDE 197 of the PLAT records of ROCKWALL COUNTY, TEXAS.



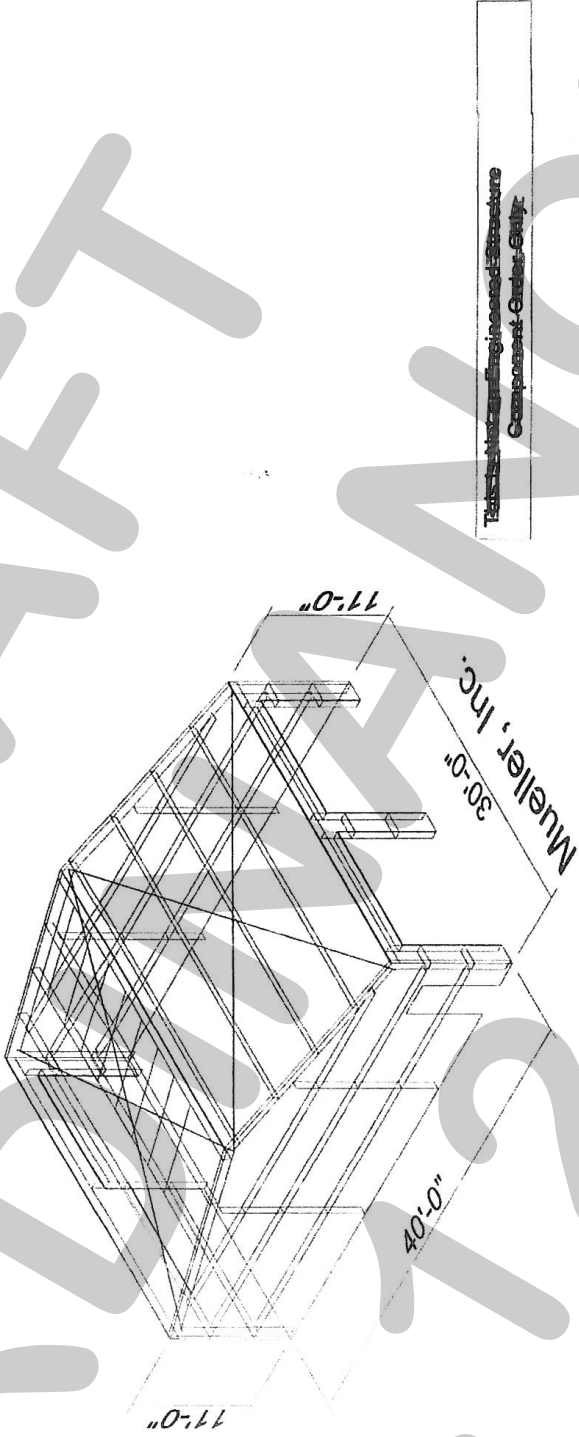
EASEMENTS RECORDED IN THE FOLLOWING VOLUME & PAGES TO THE BEST OF MY KNOWLEDGE AND BELIEF DO NOT AFFECT THE ABOVE DESCRIBED PROPERTY.
VOLUME 42 PAGE 506

LOT 3, BLOCK A
GRADY RASH SUBDIVISION
CABINET B, PAGE 142



ACCEPTED BY: _____

**Exhibit 'C':
Elevations**





CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: October 12, 2021
APPLICANT: Peter Muhl; *Rockwall Habitat for Humanity*
CASE NUMBER: Z2021-039; *Specific Use Permit (SUP) for a Residential Infill for 305 Blanche Drive*

SUMMARY

Hold a public hearing to discuss and consider a request by Peter Muhl of Rockwall Habitat for Humanity for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.1650-acre parcel of land identified as Lot 888A of the Rockwall Lake Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 305 Blanche Drive, and take any action necessary.

BACKGROUND

The subject property was originally platted as Lot 888-A of the Rockwall Lake Properties Development No. 2 Addition, which was filed with Rockwall County on April 23, 1968. On February 17, 2009, the subject property -- *along with the rest of the Lake Rockwall Estates Subdivision* -- was annexed into the City of Rockwall by *Ordinance No. 09-07*. At the time of annexation, one (1) manufactured homes were situated on the subject property. On September 21, 2009, the City Council rezoned the Lake Rockwall Estates Subdivision from an Agricultural (AG) District to Planned Development District 75 (PD-75) [*Ordinance No. 09-37*] for Single-Family 7 (SF-7) District land uses. Based on aerial imagery the manufactured home that was situated on the subject property at the time of annexation was demolished between August 2012 and October 2013. On January 4, 2016, the City Council amended Planned Development District 75 (PD-75) with *Ordinance No. 16-01*, which made minor changes to the *Consideration of a Special Request* section of the ordinance.

PURPOSE

The applicant, is requesting the approval of a Specific Use Permit (SUP) for the purpose of constructing a single-family home on the subject property in accordance with Subsection 02.03(B)(11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

ADJACENT LAND USES AND ACCESS

The subject property is located at 305 Blanche Drive. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property are multiple lots zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses. These properties are mostly developed with mobile/manufactured homes, with some of the lots being developed with single-family homes. Beyond this is Evans Road, which is classified as a *R2 (i.e. residential, two [2] lane, undivided roadway)* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

South: Directly south of the subject property are multiple lots zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses. These properties are mostly developed with mobile/manufactured homes, with some of the lots being developed with single-family homes. Beyond this is County Line Road, which is classified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

East: Directly east of the subject property are multiple lots zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses. These properties are mostly developed with mobile/manufactured homes, with some of the lots being developed with single-family homes. Beyond this is Lynne Drive, which is classified as a R2 (i.e. residential, two [2] lane, undivided roadway) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

West: Directly west of the subject property is Blanche Drive, which is identified as a R2 (i.e. residential, two [2] lane, undivided roadway) on the Master Thoroughfare Plan. Beyond this are multiple lots zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses. These properties are mostly developed with mobile/manufactured homes, with some of the lots being developed with single-family homes.

CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY’S CODES

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as “(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out.” An *established subdivision* is further defined in Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC as “...a subdivision that consists of five (5) or more lots, that is 90% developed, and that has been in existence for more than ten (10) years.” The subject property is part of the Lake Rockwall Estates Subdivision, which has been in existence since before 1968 and is considered to be more than 90% developed. The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property, being in a Planned Development District for Single-Family 7 (SF-7) District land uses, requires a Specific Use Permit (SUP).

In addition, Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, “...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [i.e. *Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ...” The following is a summary of observations concerning the housing on Chris Drive compared to the house proposed by the applicant:

Housing Design and Characteristics	Existing Housing on Blanche Drive Between Evans Road and County Line Road	Proposed Housing
Building Height	One (1) Story	One (1) Story
Building Orientation	All of the homes located along Blanche Drive are oriented toward Blanche Drive.	The front elevation of the home will face onto Blanche Drive.
Year Built	1975-2000	N/A
Building SF on Property	672 SF - 1,808 SF	1,522 SF
Building Architecture	Various (<i>Majority Mobile/Manufactured Homes</i>)	Comparable Architecture to Newer Single-Family Homes
Building Setbacks:		
Front	Estimated Between 15-Feet and 20-Feet	X>20-Feet
Side	The side yard setbacks appear to be between zero (0) and greater than six (6) feet.	X>5-Feet
Rear	The rear yard setbacks appear to be greater than ten (10) feet.	36.01-Feet
Building Materials	Hardie Board, Aluminum & Wood Siding, Modular Paneling, Masonite Siding, and Brick.	Combination of Hardie Board Siding and Brick
Paint and Color	Yellow, Tan, Brown, White, Green, and Teal	<i>Undefined by the Applicant</i>
Roofs	Composite Shingles and Metal	Asphalt Composite Shingle on Waferboard or Plywood decking
Driveways/Garages	Driveways are all in the front and visible from Blanche Drive; however, some are behind front yard fences. None of the homes have enclosed garages.	The proposed home does not include a garage/carport.

According to Section 04, *Residential Parking*, of Article 06, *Parking and Loading*, of the Unified Development Code (UDC), "(i)n single-family or duplex districts, parking garages must be located at least 20-feet behind the front façade for front entry garages ..." In this case, the applicant is not proposing a garage with the home. The addition of a garage or carport must meet the standards established in Subsection 07.04, *Accessory Structure Development Standards* of Article 04, of the Unified Development Code (UDC). With the exception of not having a garage, the proposed single-family home meets all of the density and dimensional requirements for the Single Family 7 (SF-7) District as stipulated by the Unified Development Code (UDC). For the purpose of comparing the proposed home to the existing single-family housing located adjacent to or in the vicinity of the *subject property*, staff has provided photos of the properties along Blanche Drive and the proposed building elevations in the attached packet. The approval of this request is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission and a finding that the proposed house will not have a negative impact on the existing subdivision.

NOTIFICATIONS

On September 23, 2021, staff mailed 141 notices to property owners and occupants within 500-feet of the subject property. There were no Homeowner's Associations (HOAs) or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program to notify. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received one (1) notice in favor of the applicant's request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP) to construct a single-family home as a *Residential Infill within an Established Subdivision*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) Development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of the draft ordinance.
 - (b) Construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of the draft ordinance; and,
 - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22021-039

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ¹
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST (\$100.00)

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 305 Blanche Rd
 SUBDIVISION Rockwall Lake Est #2 Lot 888A LOT 888A BLOCK
 GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING Single Family Home CURRENT USE Empty lot
 PROPOSED ZONING Single Family Home PROPOSED USE Home
 ACREAGE .1650 LOTS [CURRENT] 1 LOTS [PROPOSED] 1

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Rockwall Habitat for Humanity APPLICANT
 CONTACT PERSON Peter Muhl CONTACT PERSON
 ADDRESS 1101 Ridge Rd #4 ADDRESS
 CITY, STATE & ZIP Rockwall, Tx 75087 CITY, STATE & ZIP
 PHONE 214-704-3455 PHONE
 E-MAIL peter@northmesquiteplumbing.com E-MAIL

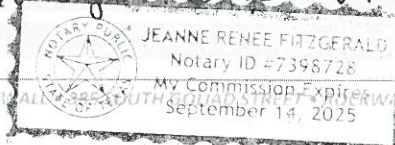
NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Sally Muhl [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 215.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 15th DAY OF September 2021. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 15th DAY OF September, 2021
OWNER'S SIGNATURE Sally Muhl, VP

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



MY COMMISSION EXPIRES September 14, 2025



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

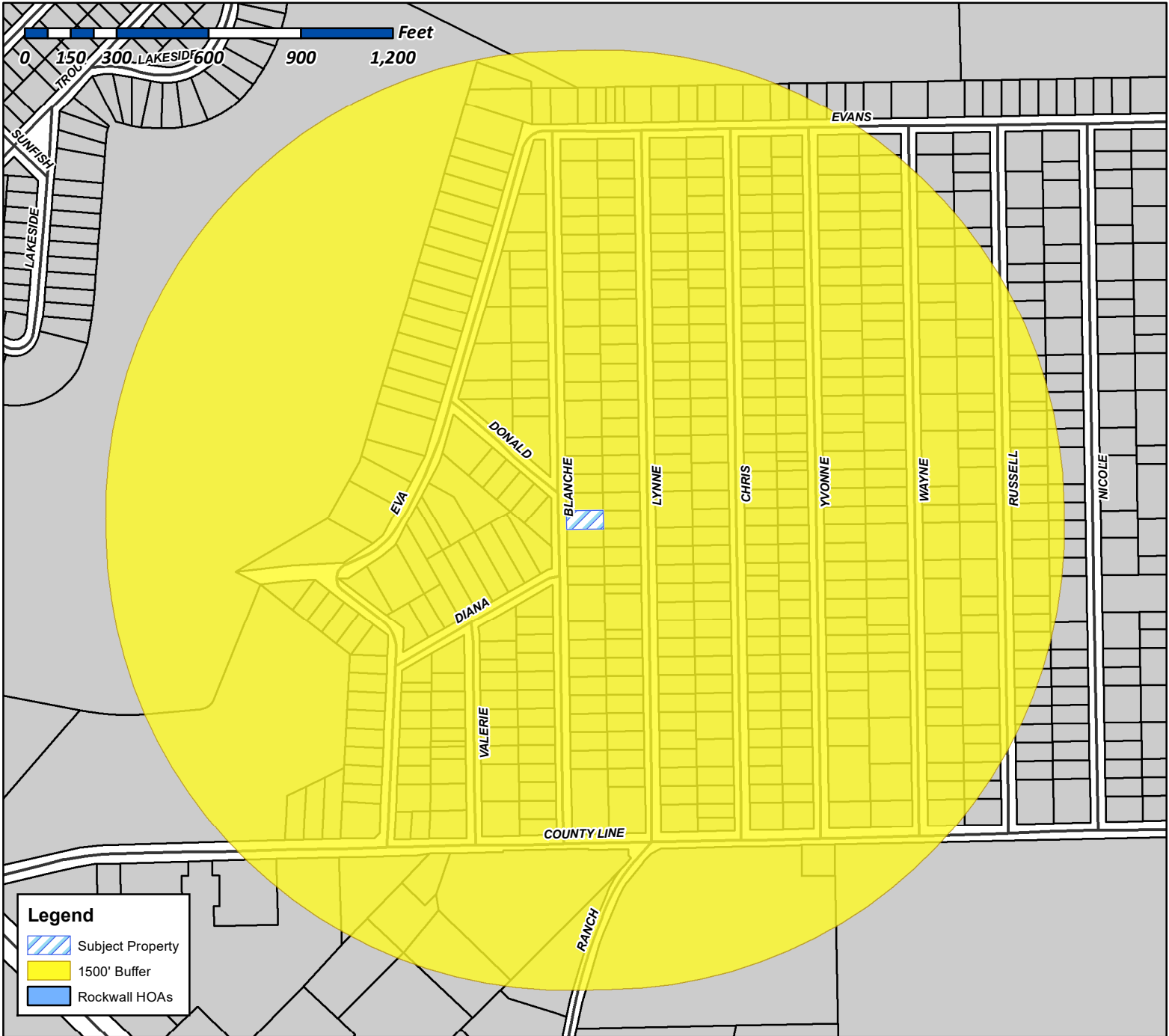




City of Rockwall

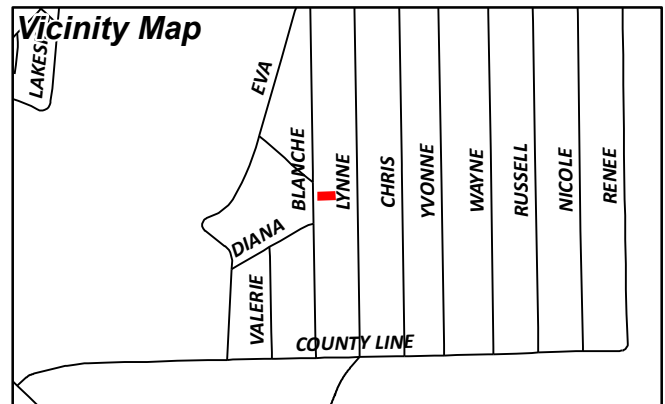
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2021-039
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Planned Development District 75 (PD-75)
Case Address: 305 Blanche Drive

Date Created: 9/16/2021
For Questions on this Case Call (972) 771-7745

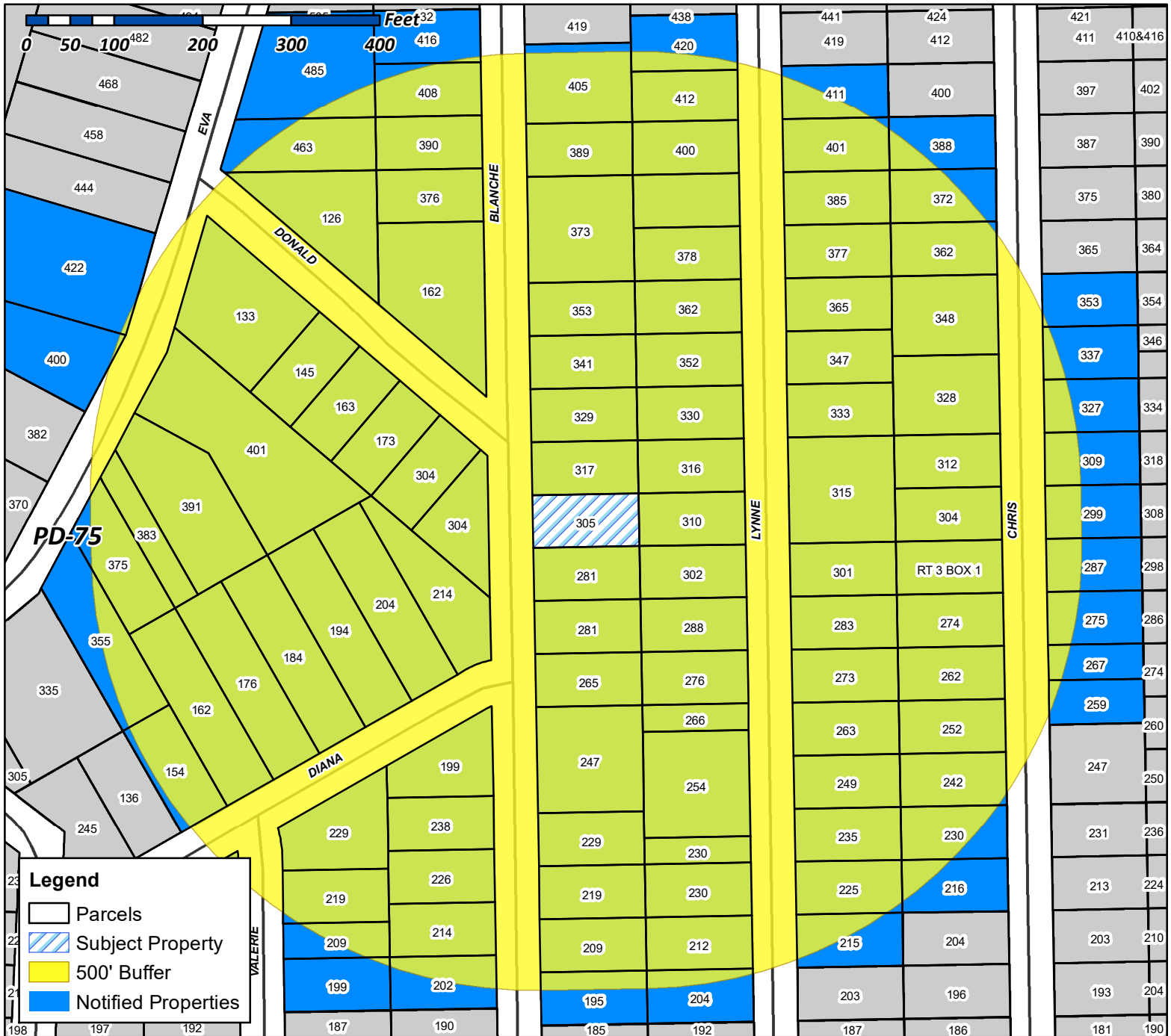




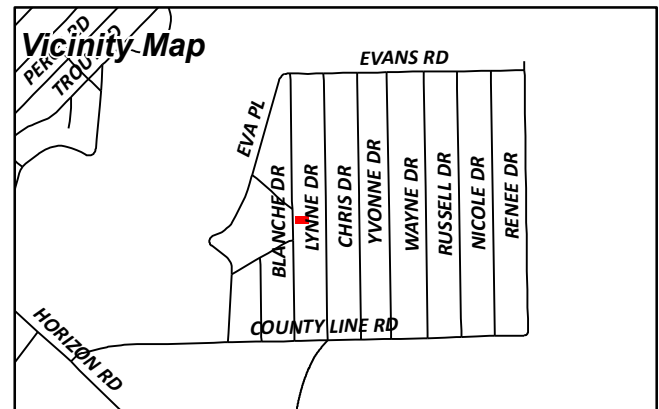
City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2021-039
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Planned Development District 75 (PD-75)
Case Address: 305 Blanche Drive



Date Created: 9/16/2021
For Questions on this Case Call (972) 771-7745

SALAS HECTOR JABIER & CAROLINA ORTIZ
1000 W YELLOWJACKET LANE APT 2507
ROCKWALL, TX 75087

MARTINEZ FLORENTINO TREJO AND MARIA DEL
ROCIO RUBIO DE TREJO
11540 SINCLAIR AVENUE
DALLAS, TX 75218

NAVA ANA L
1167 SMITH ACRES DR
ROYSE CITY, TX 75189

ESCOBAR SERGIO & ANABEL
118 ALTHEA RD
ROCKWALL, TX 75032

FERNANDEZ URBANO ALVARADOO &
SON ARMADO FERNANDEZ
1235 VZ COUNTY ROAD 3425
WILLS POINT, TX 75169

ADAMS JAMES W
126 DONALD DR
ROCKWALL, TX 75032

MORRIS AUBREY KEITH
133 DONALD DR
ROCKWALL, TX 75032

TONG VINCENT HIEU AND
TIFFANY PHU
1414 BUFFALO WOODS CT
KATY, TX 77494

CROWDER DAVID
145 BETHEL RD
GREENVILLE, TX 75402

MARTINEZ PERLA
145 DONALD DR
ROCKWALL, TX 75087

ESPARZA JUANA
15047 SE 152ND DR
CLACKAMAS, OR 97015

ROMAN JAIME A & MA GUADALUPE SANDOVAL
154 DIANA DR
ROCKWALL, TX 75032

LORENZ SABINA AND MICHAEL
162 DIANA
ROCKWALL, TX 75032

GRAY DOROTHY M
162 DONALD DR
ROCKWALL, TX 75032

MORENO FABIOLA
163 DONALD
ROCKWALL, TX 75032

LOZANO ISIDRO
1705 HIGH MEADOW DR
GARLAND, TX 75043

FIELDS JIMMIE
173 DONALD DR
ROCKWALL, TX 75032

LAKE POINTE BAPTIST CHURCH
176 DIANA
ROCKWALL, TX 75032

LAKE POINTE BAPTIST CHURCH
184 LILLIAN DR
ROCKWALL, TX 75032

SARABIA SILVESTRE
194 DIANA
ROCKWALL, TX 75032

GARCIA JOSE
195 BLANCHE DR
ROCKWALL, TX 75032

MELENDEZ HOPE
199 DIANA DR
ROCKWALL, TX 75032

CANADY JERRY ANN
199 VALERIE PL
ROCKWALL, TX 75032

ARROYO MARGARITO &
LUCIA ARROYO-ESPINOSA
202 BLANCHE DR
ROCKWALL, TX 75032

BALDERAS JOSE G
2027 MIDLAKE LN
ROCKWALL, TX 75032

WILSON JAMES F AND
TAMMY M UNDERWOOD AND CAITLIN A DAVIS-
WILSON
203 LYNNE DRIVE
ROCKWALL, TX 75032

BODEN ERIC
(MR)
204 DIANA
ROCKWALL, TX 75032

CRUZ MARIA D AND IGNACIO D
204 LYNNE DR
ROCKWALL, TX 75032

ADAMS JAMES & DEBBIE
208 SUMMIT RIDGE DR
ROCKWALL, TX 75087

URBINA ARACELI C
209 BLANCHE DR
ROCKWALL, TX 75032

CANADY JERRY ANN
209 VALERIE PL
ROCKWALL, TX 75032

CRUZ MARIA D AND IGNACIO D
212 LYNNE DR
ROCKWALL, TX 75032

RICO RUIZ CARLOS AND MARIA
212 VALERIE PL
ROCKWALL, TX 75032

SALAS HECTOR JABIER & CAROLINA ORTIZ
214 BLANCHE DR
ROCKWALL, TX 75032

BODEN ERIC
(MR)
214 DIANA
ROCKWALL, TX 75032

WILSON JAMES F AND
TAMMY M UNDERWOOD AND CAITLIN A DAVIS-
WILSON
215 LYNNE DR
ROCKWALL, TX 75032

QUEVEDO OSCAR F
216 CHRIS DR
ROCKWALL, TX 75032

MEJIA JOEL & EMMA HERRERA & JOEL MEJIA JR
218 LAKESIDE DR
ROCKWALL, TX 75032

GUADALUPE JOSE AND
ANGELA ANN GUTIERREZ
219 BLANCHE DR
ROCKWALL, TX 75032

RUIZ JOSE C
219 VALERIE PL
ROCKWALL, TX 75032

CARMONA JOEL
221 NICOLE DR
ROCKWALL, TX 75032

ESPARZA JUANA
225 LYNNE DR
ROCKWALL, TX 75032

MENDOZA ERICK CRUZ
226 BLANCHE DRIVE
ROCKWALL, TX 75032

GUADALUPE JOSE AND
ANGELA ANN GUTIERREZ
229 BLANCHE DR
ROCKWALL, TX 75032

MUK YAN CHING
229 VALERIE PL
ROCKWALL, TX 75032

YANEZ MARIA TERESA AND
MARIA DEL ROSARIO YANEZ
230 CHRIS DRIVE
ROCKWALL, TX 75032

PEREZ FERMIN
230 LYNN DRIVE
ROCKWALL, TX 75032

CONFIDENTIAL
230 LYNNE DR
ROCKWALL, TX 75032

UGALDE VICENTE R
234 BLANCHE DR
ROCKWALL, TX 75032

CARMONA MARTIN SALVADOR
235 LYNNE DR
ROCKWALL, TX 75032

RAMIREZ MARTHA E
235 LYNNE DRIVE
ROCKWALL, TX 75032

UGALDE VICENTE R
238 BLANCHE DR
ROCKWALL, TX 75032

MARTINEZ RUTH A
2418 HILLGLEN RD
DALLAS, TX 75228

CARRILLO JAIME
242 CHRIS DR
ROCKWALL, TX 75032

TONG VINCENT
247 BLANCHE DR
ROCKWALL, TX 75032

CARMONA EVELIA
249 LYNNE DR
ROCKWALL, TX 75032

MARTINEZ CARLOS ALONZO
252 CHRIS DR
ROCKWALL, TX 75032

RAMIREZ MARTHA E
254 LYNNE DR
ROCKWALL, TX 75032

MARTINEZ RUTH A
259 CHRIS DR
ROCKWALL, TX 75032

NAVA ANA L
262 CHRIS DR
ROCKWALL, TX 75032

SALAZAR-CARMONA MIRIAM GUADALUPE
263 LYNNE DR
ROCKWALL, TX 75032

TONG VINCENT HIEU AND
TIFFANY PHU
265 BLANCHE DR
ROCKWALL, TX 75032

CITY OF ROCKWALL
ATTN;MARY SMITH
266 LYNNE DR
ROCKWALL, TX 75032

MARTINEZ RUTH A
267 CHRIS DR
ROCKWALL, TX 75032

FERNANDEZ URBANO
273 LYNNE DR
ROCKWALL, TX 75032

CHAPELA AARON JAIME
274 CHRIS DR
ROCKWALL, TX 75032

MORENO LUCINA ALONSO DE AND RICARDO
MORENO OSORNIA
275 CHRIS DR
ROCKWALL, TX 75032

GUEVARA JOSE
276 LYNNE DR
ROCKWALL, TX 75032

CROWDER DAVID
281 BLANCHE DR
ROCKWALL, TX 75032

FERNANDEZ URBANO
283 LYNNE DR
ROCKWALL, TX 75032

SLEDGE PATTI RENE
287 CHRIS DR
ROCKWALL, TX 75032

GUEVARA JOSE
288 LYNNE DR
ROCKWALL, TX 75032

QUEVEDO OSCAR F
293 YVONNE
ROCKWALL, TX 75032

GREER RICHARD & MARLENE
299 CHRIS DR
ROCKWALL, TX 75032

RODRIGUEZ ANTONIO & LAURA
301 LYNNE DR
ROCKWALL, TX 75032

GUEVARA JOSE
302 LYNNE DR
ROCKWALL, TX 75032

VAZQUEZ JUAN MIGUEL & MARTHA PATRICIA
304 BLANCHE DR
ROCKWALL, TX 75032

CONTRERAS JOSE AND CANDELARIA
304 CHRIS DR
ROCKWALL, TX 75032

ROCKWALL HABITAT FOR HUMANITY
305 BLANCHE DR
ROCKWALL, TX 75032

MORENO LUCINA ALONSO DE AND RICARDO
MORENO OSORNIA
309 CHRIS DR
ROCKWALL, TX 75032

BARRON INOCENCIO & MARTHA
310 LYNNE DR
ROCKWALL, TX 75032

NEXTEL PARTS & SUPPLIES INC
311 E I-30
ROCKWALL, TX 75087

BALDERAS JOSE G
312 CHRIS DR
ROCKWALL, TX 75032

CARMONA JOEL
315 LYNNE DR
ROCKWALL, TX 75032

PALACIOS PEDRO & MARIA E
316 LYNNE DR
ROCKWALL, TX 75032

STRANGE MARY JANNETTE
317 BLANCHE DR
ROCKWALL, TX 75032

ROSAS ALEXANDRA
327 CHRIS DR
ROCKWALL, TX 75032

PADRON CELSA
328 CHRIS DR
ROCKWALL, TX 75032

UC F JOSE FAUSTO
329 BLANCHE DR
ROCKWALL, TX 75032

MORENO SALVADOR
330 LYNNE DR
ROCKWALL, TX 75032

CHAVEZ IGNACIO
333 LYNNE DR
ROCKWALL, TX 75032

JIMENEZ JOSE LUIS GARCIA AND
BERNARDA AGUILAR LEDEZMA
337 CHRIS DRIVE
ROCKWALL, TX 75032

ESCOBAR SERGIO & ANABEL
341 BLANCHE DR
ROCKWALL, TX 75032

DIAZ JUAN AND ANA
347 LYNN DRIVE
ROCKWALL, TX 75032

CONTRERAS JOSE L
348 CHRIS DR
ROCKWALL, TX 75032

MORENO SALVADOR
352 LYNNE DR
ROCKWALL, TX 75032

MARTINEZ FLORENTINO TREJO AND MARIA DEL
ROCIO RUBIO DE TREJO
353 BLANCHE DR
ROCKWALL, TX 75032

CONTRERAS JOSE L
353 CHRIS DR
ROCKWALL, TX 75032

BARNARD DANIEL
353 CHRIS DRIVE
ROCKWALL, TX 75032

LAKEPOINTE BAPTIST CHURCH
355 EVA
ROCKWALL, TX 75032

GALLEGOS MAURO & MARIA
362 CHRIS DR
ROCKWALL, TX 75032

LOZANO ISIDRO
362 LYNNE DR
ROCKWALL, TX 75032

PALACIOS PEDRO & MARIA E
365 LYNNE DR
ROCKWALL, TX 75032

MEJIA JOEL & EMMA HERRERA & JOEL MEJIA JR
372 CHRIS DR
ROCKWALL, TX 75032

RODRIGUEZ HERMAN & APRIL
373 BLANCHE DR
ROCKWALL, TX 75032

LAKE POINTE BAPTIST CHURCH
375 EVA
ROCKWALL, TX 75032

RAMIREZ RIGOBERTO AND
MARGARITA ESCOBAR
376 BLANCHE DR
ROCKWALL, TX 75032

SILVA ROBERTO
377 LYNNE DR
ROCKWALL, TX 75032

TOSCANO ANTONIA
378 LYNNE DR
ROCKWALL, TX 75032

LAKE POINTE BAPTIST CHURCH
383 EVA PL
ROCKWALL, TX 75032

ESPINOZA ROBERTO & MARIA
385 LYNNE DR
ROCKWALL, TX 75032

CARMONA-SANCHEZ CARLOS & CRISTINA
388 CHRIS DR
ROCKWALL, TX 75032

GUEVARA JOSE E & MARIS
389 BLANCHE DR
ROCKWALL, TX 75032

RAMIREZ RIGOBERTO AND
MARGARITA ESCOBAR
390 BLANCHE DR
ROCKWALL, TX 75032

LAKE POINTE BAPTIST CHURCH
391 EVA
ROCKWALL, TX 75032

PAY LESS 4 MORE LLC
400 EVA
ROCKWALL, TX 75032

CONTRERAS-AYALA JORGE
400 LYNNE
ROCKWALL, TX 75032

NEXTEL PARTS & SUPPLIES INC
401 EVA
ROCKWALL, TX 75032

VARGAS FRANCISCO
401 LYNNE DR
ROCKWALL, TX 75032

GUEVARA JOSE E
405 BLANCHE DR
ROCKWALL, TX 75032

GONZALEZ JOSE & LAUREN
408 BLANCHE DR
ROCKWALL, TX 75032

VARGAS FRANCISCO
411 LYNNE DR
ROCKWALL, TX 75032

DOMINGUEZ SALVADOR & DIANA
412 LYNNE DR
ROCKWALL, TX 75032

CARRILLO OMAR
ROSALES MARIA M
416 BLANCHE DR
ROCKWALL, TX 75032

DOMINGUEZ SALVADOR & DIANA
420 LYNNE DRIVE
ROCKWALL, TX 75032

PAY LESS 4 MORE LLC
4219 ASHMONT CT
DALLAS, TX 75287

RAOFPUR DAVID
4219 ASHMONT CT
DALLAS, TX 75287

RAOFPUR DAVID
422 EVA
ROCKWALL, TX 75032

ADAMS JAMES & DEBBIE
463 EVA PL
ROCKWALL, TX 75032

ADAMS JAMES W
485 EVA
ROCKWALL, TX 75032

LORENZ SABINA AND MICHAEL
513 BASS RD
ROCKWALL, TX 75032

GONZALEZ JOSE & LAUREN
5245 COUNTY ROAD 2515
ROYSE CITY, TX 75189

CARMONA-SANCHEZ CARLOS & CRISTINA
532 BLANCHE DRIVE
ROCKWALL, TX 75032

GUEVARA JOSE E & MARIS
6938 STATE HIGHWAY 50
COMMERCE, TX 75428

LAKE POINTE BAPTIST CHURCH
701 E INTERSTATE 30
ROCKWALL, TX 75087

SILVA ROBERTO
8766 CR 2586
ROYSE CITY, TX 75189

MUK YAN CHING
908 S WEATHERED DR UNIT 8
RICHARDSON, TX 75080

SARABIA SILVESTRE
929 S PEORIA ST APT G21S
AURORA, CO 80012

FIELDS JIMMIE
PO BOX 1115
ROYSE CITY, TX 75189

ROCKWALL HABITAT FOR HUMANITY
PO BOX 4
ROCKWALL, TX 75087

YANEZ MARIA TERESA AND
MARIA DEL ROSARIO YANEZ
RT 3 BOX 1 CHRIS DR
ROCKWALL, TX 75032

Case No. Z2021-039: SUP for Residential Infill in an Established Subdivision

Please place a check mark on the appropriate line below:

 I am in favor of the request for the reasons listed below. I am opposed to the request for the reasons listed below.

Increases Property Values / Encourage Clean-up
Pave the way for sidewalks & street lights
Our neighborhood is predominately LATINO
and we love it here.

Name:

Richard / Marlene Greer

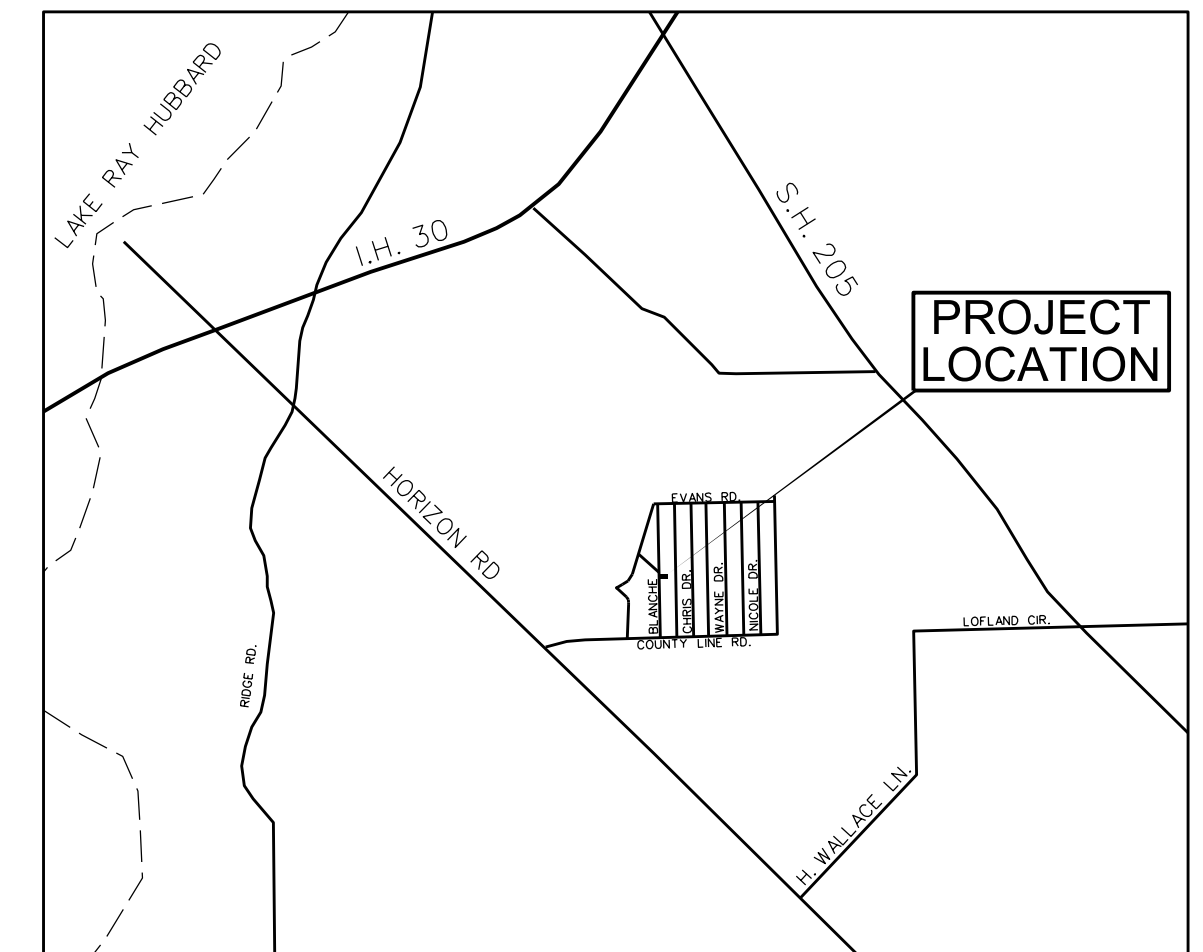
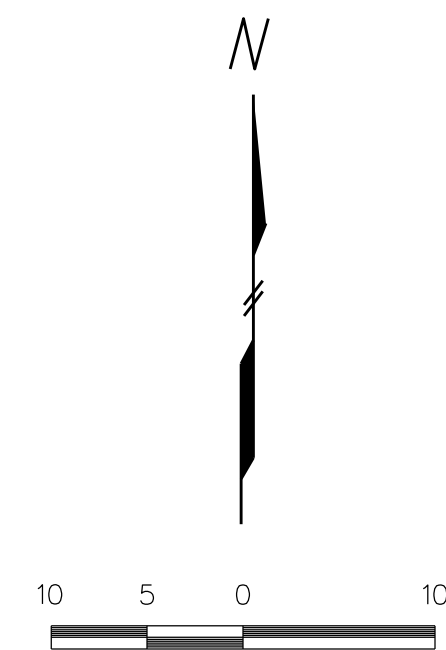
Address:

299 Chris Drive

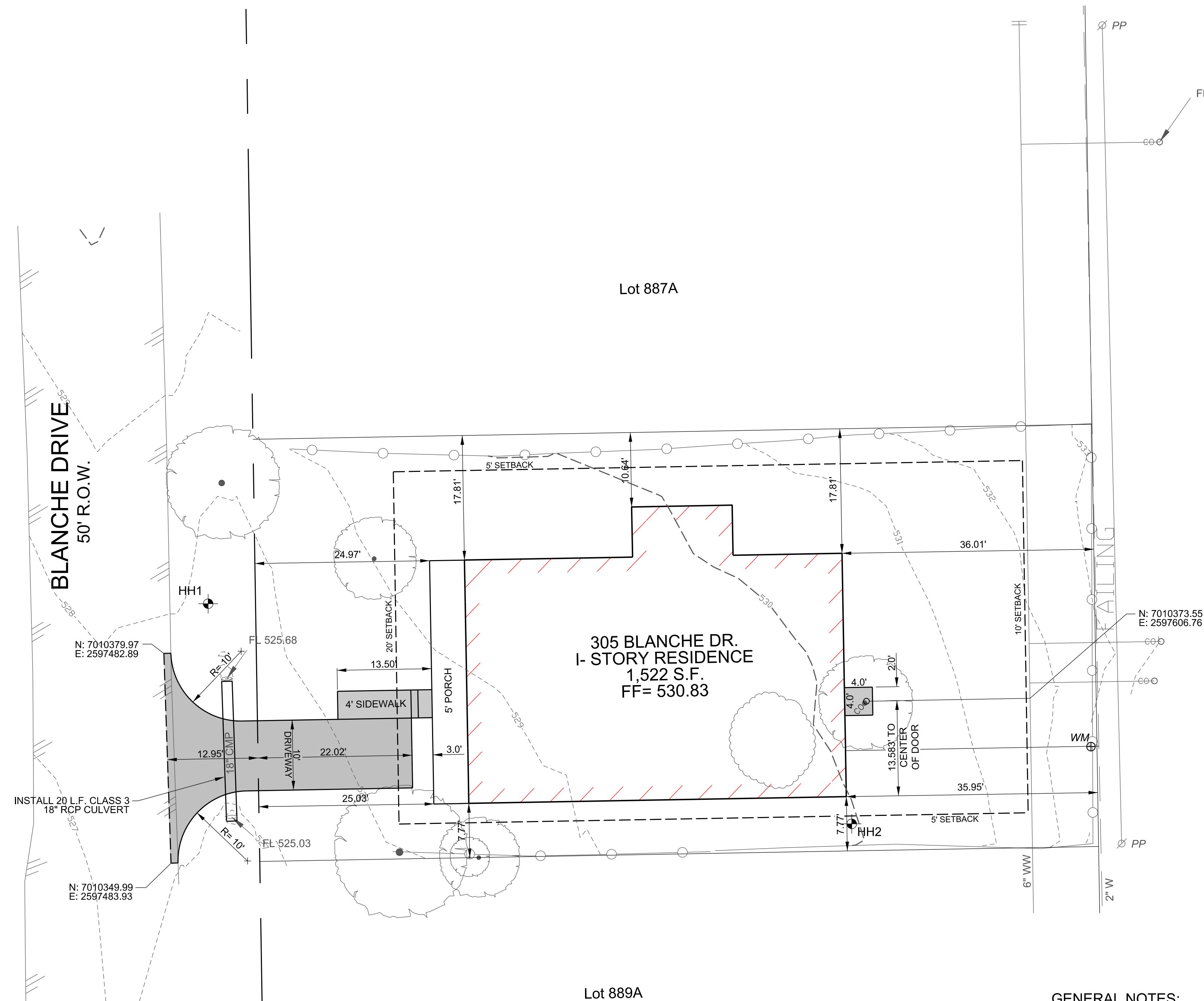
Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

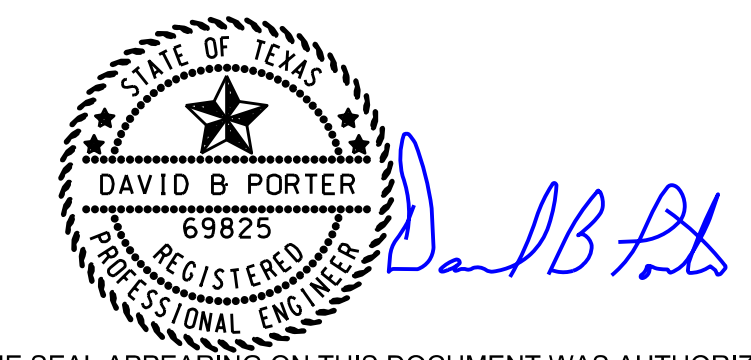
NOTE:
 CONTRACTOR SHALL FIELD VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES (SHOWN ON PLANS OR NOT) PRIOR TO CONSTRUCTION. IF FIELD CONDITIONS DIFFER SIGNIFICANTLY FROM LOCATIONS SHOWN ON PLANS, THE CONTRACTOR SHALL CONTACT THE ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION. R-DELTA ENGINEERS, INC. WILL NOT BE RESPONSIBLE FOR ANY WORK BY THE CONTRACTOR NEGLECTING TO LOCATE THESE UTILITIES.



VICINITY MAP
 N.T.S. MAPSCO 30C-M



ZONING: PD-75 (AREA 2)
 SETBACKS: FRONT - 20'
 REAR - 10'
 SIDES - 5'
 MAXIMUM HEIGHT - 32'
 LOT COVERAGE - 30.3%
 OWNER:
 HABITAT FOR HUMANITY
 CONTACT - PETER MUHL (214)704-3455



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY DAVID B. PORTER, P.E. 69825 ON JUNE 10, 2021. ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.

BASIS OF BEARINGS:
 All bearings and coordinates are shown on North Central Zone (4202) of the Texas Coordinate System of 1983, and were obtained using Global Navigational Satellite System methods. The orthometric heights reported here are based on the North American Vertical Datum of 1988 (NAVD88) using GEOID18. Monuments.

HH1	HH2
N = 7,010,387.08	N = 7,010,355.61
E = 2,597,489.23	E = 2,597,581.26
ELEV. = 527.21	ELEV. = 530.05

CONTRACTOR TO CONTACT R-DELTA SURVEY DEPARTMENT FOR SITE HORIZONTAL AND VERTICAL CONTROL.

GENERAL NOTES:

- All construction shall conform to the requirements set forth in the City of Rockwall's Engineering Department's "Standards of Design and Construction" and the "Standard Specifications for Public Works Construction" by the North Texas Central Council of Governments, 5th edition amended by the City of Rockwall. The CONTRACTOR shall reference the latest City of Rockwall standard details provided in the Rockwall Engineering Department's "Standards of Design and Construction" manual for details not provided in these plans. The CONTRACTOR shall possess one set of the NCTCOG Standard Specifications and Details and the City of Rockwall's "Standards of Design and Construction" manual on the project site at all times.
- The City of Rockwall Engineering Department's "General Construction Notes", Sheets 1 & 2 are incorporated to these plans by reference. The CONTRACTOR shall possess one copy of the General Construction notes on the project site at all times.

REV	DATE	DESCRIPTION

SITE PLAN
 305 BLANCHE DRIVE
 LOT 888A
 ROCKWALL LAKE ESTATES #2
 ROCKWALL, TEXAS

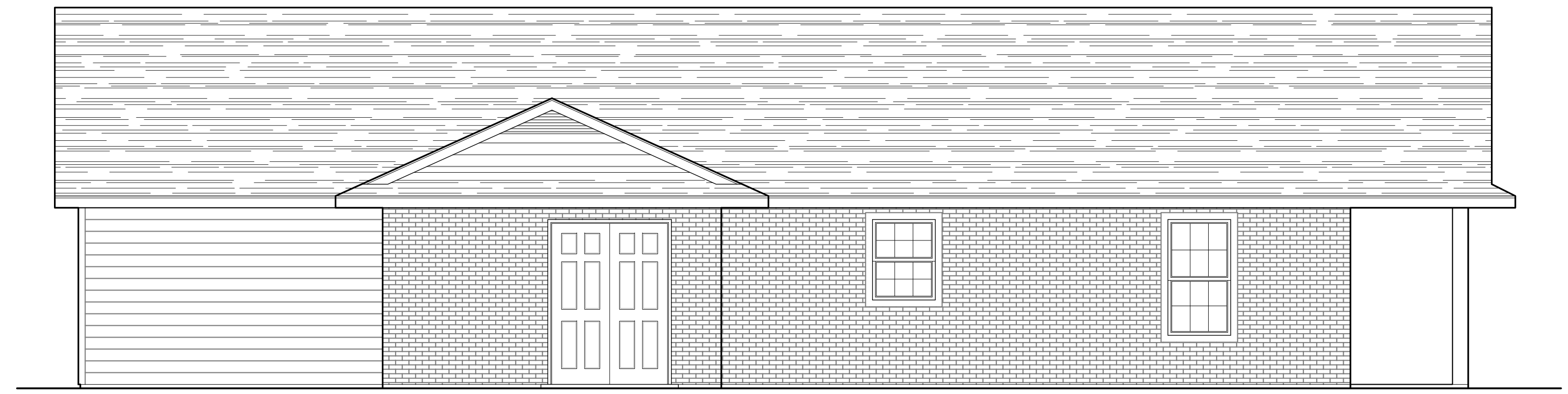
		618 Main Street Garland, TX 75040 Ph. (972) 694-5331 Fax (972) 487-2270 www.rdelta.com TBPE No. F-1515		HABITAT FOR HUMANITY OF GREATER GARLAND, INC. 2350 CRIST RD. SUITE 700 GARLAND, TEXAS 75040 TEL. (972) 272-8530	
DESIGN: DBP	CHECK: DBP	SCALE: AS SHOWN	SHEET:		
DRAWN: MDP	DATE: JUNE 2021	PROJECT #: 2915-21	1 OF 5		



1 EXTERIOR ELEVATION - FRONT

0 4'-0" 8'-0" 12'-0"

SCALE: 1/4"=1'-0"



2 EXTERIOR ELEVATION - LEFT

0 4'-0" 8'-0" 12'-0"

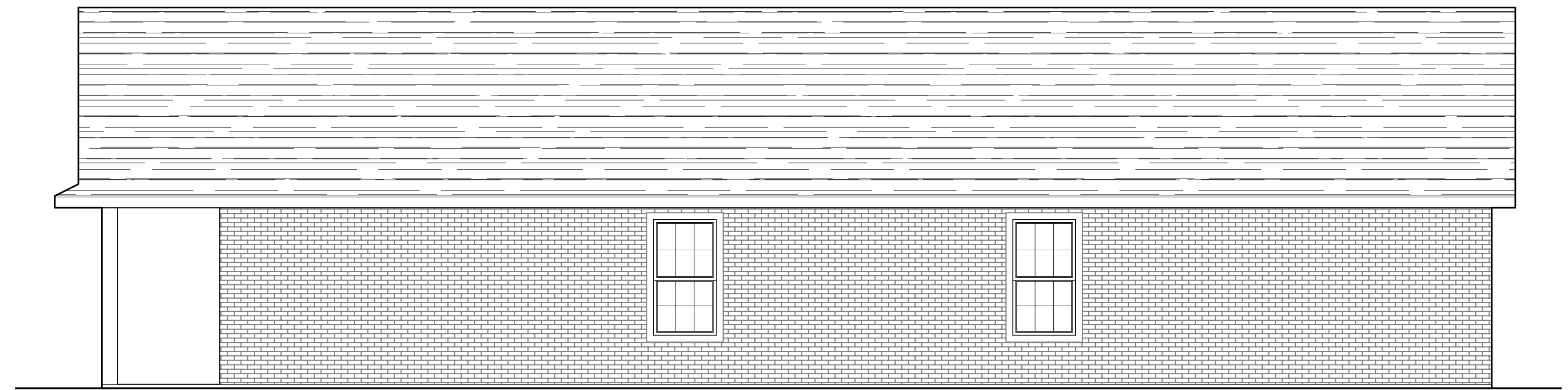
SCALE: 1/4"=1'-0"



3 EXTERIOR ELEVATION - BACK

0 4'-0" 8'-0" 12'-0"

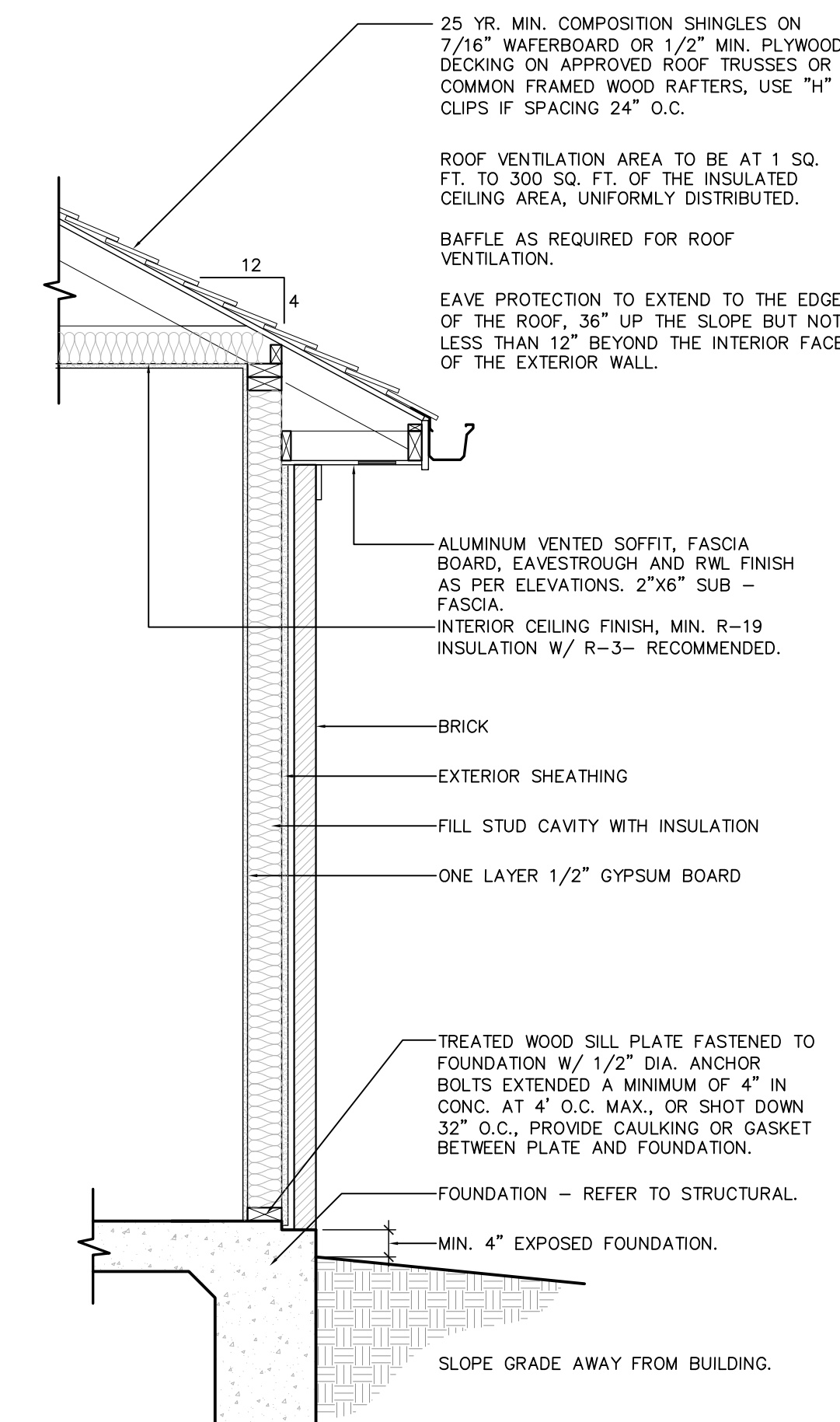
SCALE: 1/4"=1'-0"



4 EXTERIOR ELEVATION - RIGHT

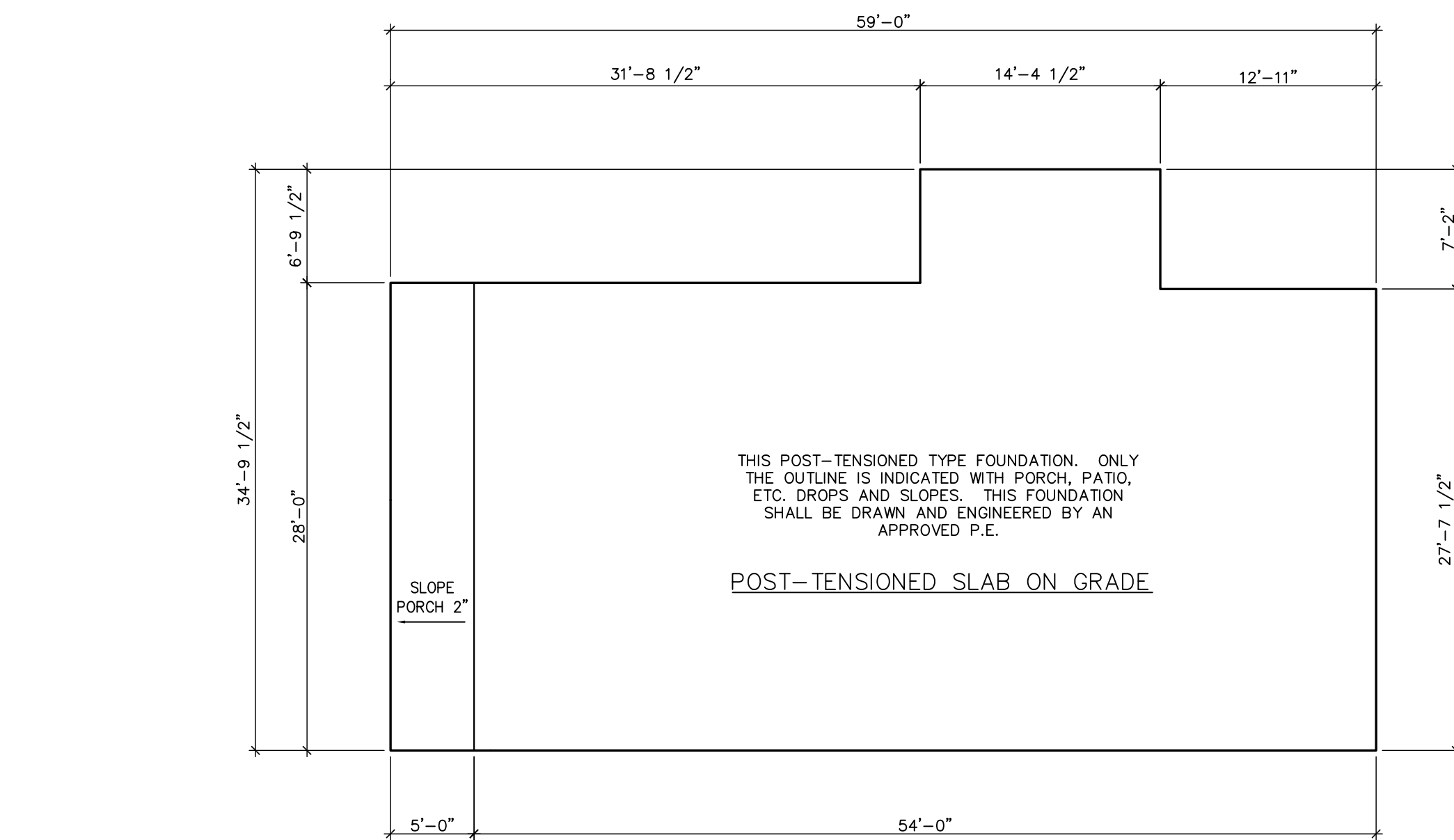
0 4'-0" 8'-0" 12'-0"

SCALE: 1/4"=1'-0"



5 TYPICAL WALL SECTION

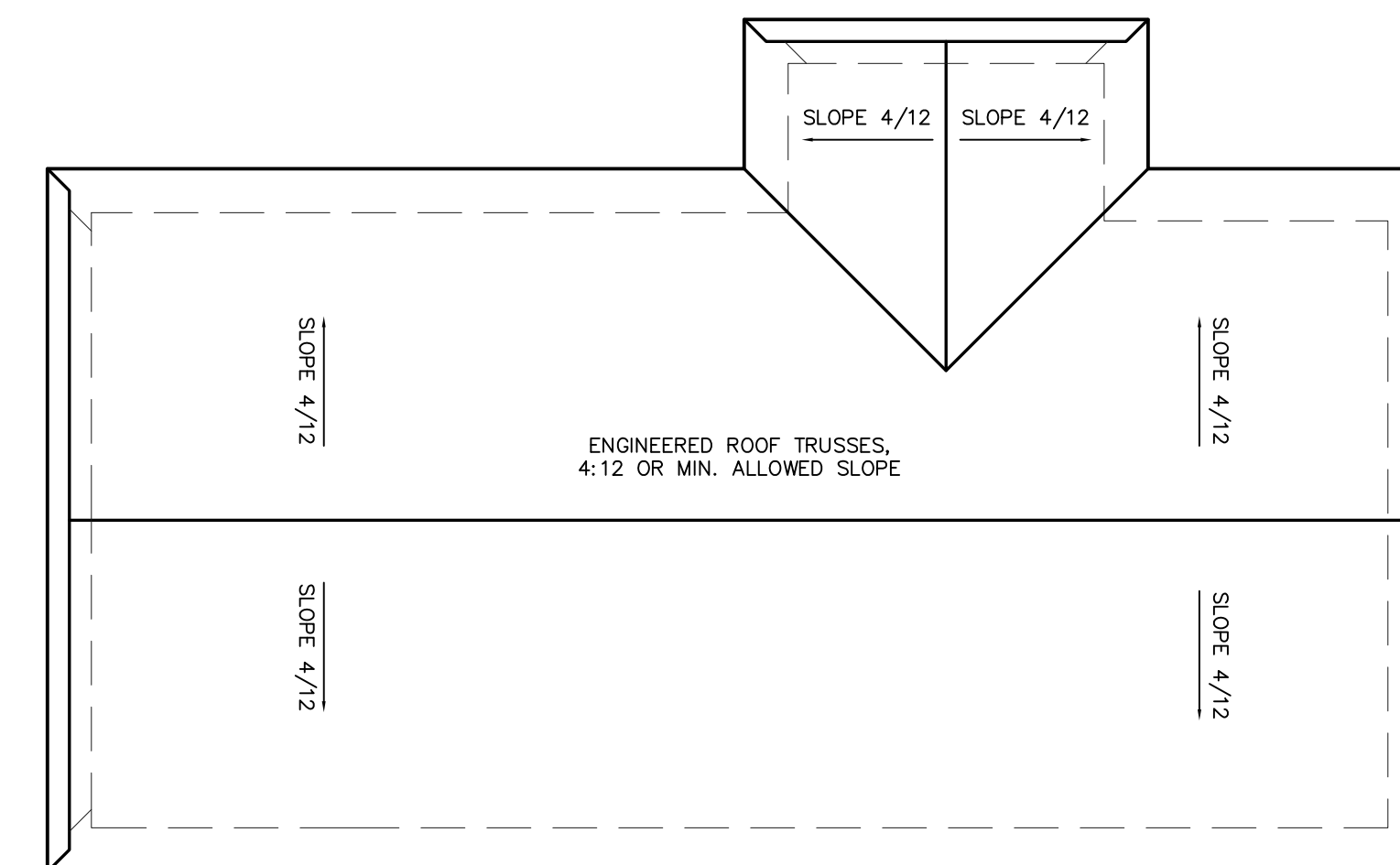
NOT TO SCALE



6 FOUNDATION PLAN

0 8'-0" 16'-0" 24'-0"

SCALE: 1/8"=1'-0"



7 ROOF PLAN

0 8'-0" 16'-0" 24'-0"

SCALE: 1/8"=1'-0"

CITY OF ROCKWALL

ORDINANCE NO. 20-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL AND PLANNED DEVELOPMENT DISTRICT 75 (PD-75) [*ORDINANCE NO. 16-01*], ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.1650-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 888-A, ROCKWALL LAKE ESTATES #2 ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Peter Muhl for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home on a 0.1650-acre parcel of land being described as Lot 888-A, Rockwall Lake Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 305 Blanche Drive, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] and Planned Development District 75 (PD-75) [*Ordinance No. 16-01*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] and Planned Development District 75 (PD-75) [*Ordinance No. 16-01*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.07, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] and to the requirements set forth in Planned Development District 75 (PD-75) [Ordinance No. 16-01] -- as heretofore amended and may be amended in the future - and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full

force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 1ST DAY OF NOVEMBER, 2021.**

Kevin Fowler, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

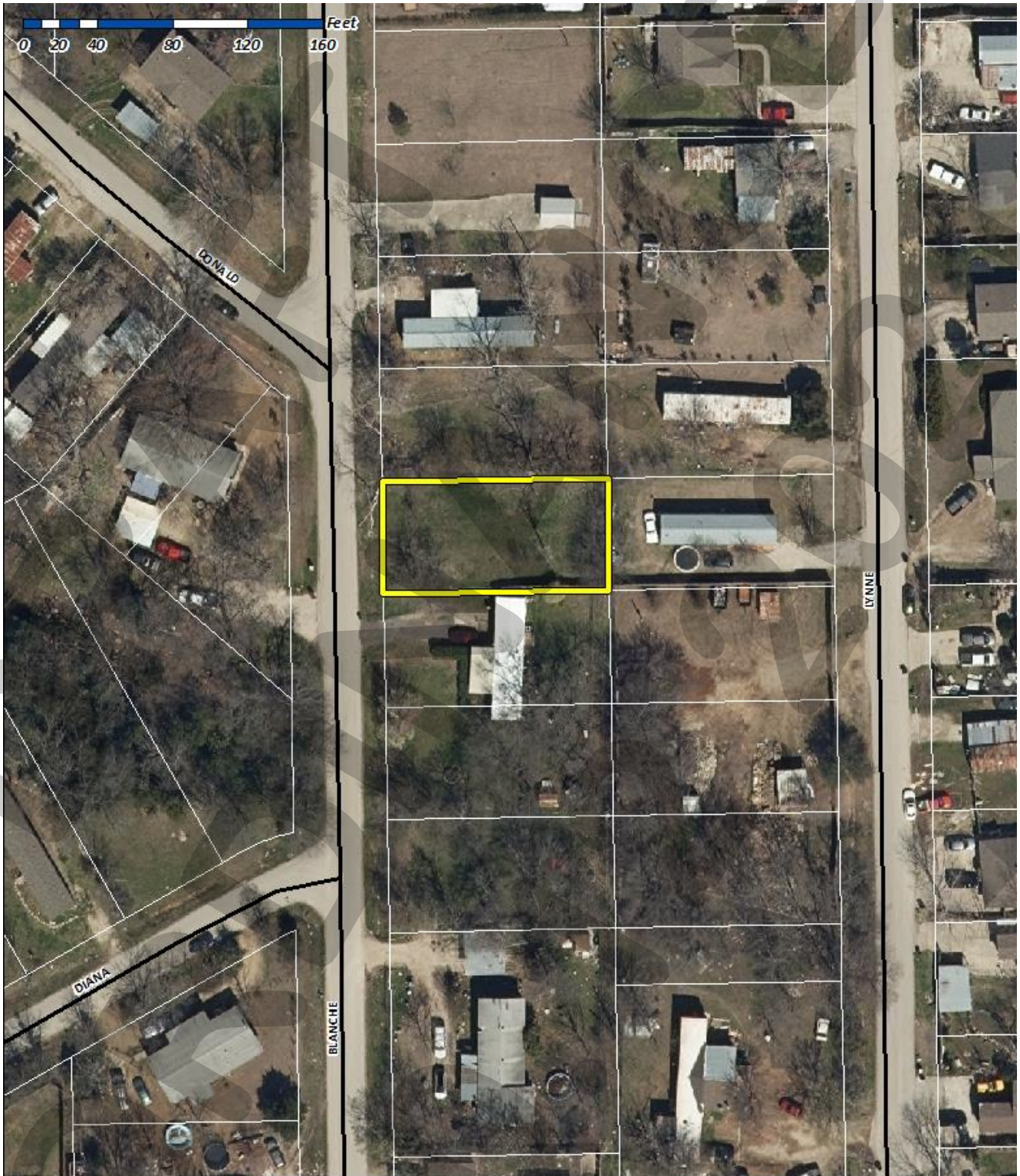
1st Reading: October 18, 2021

2nd Reading: November 1, 2021

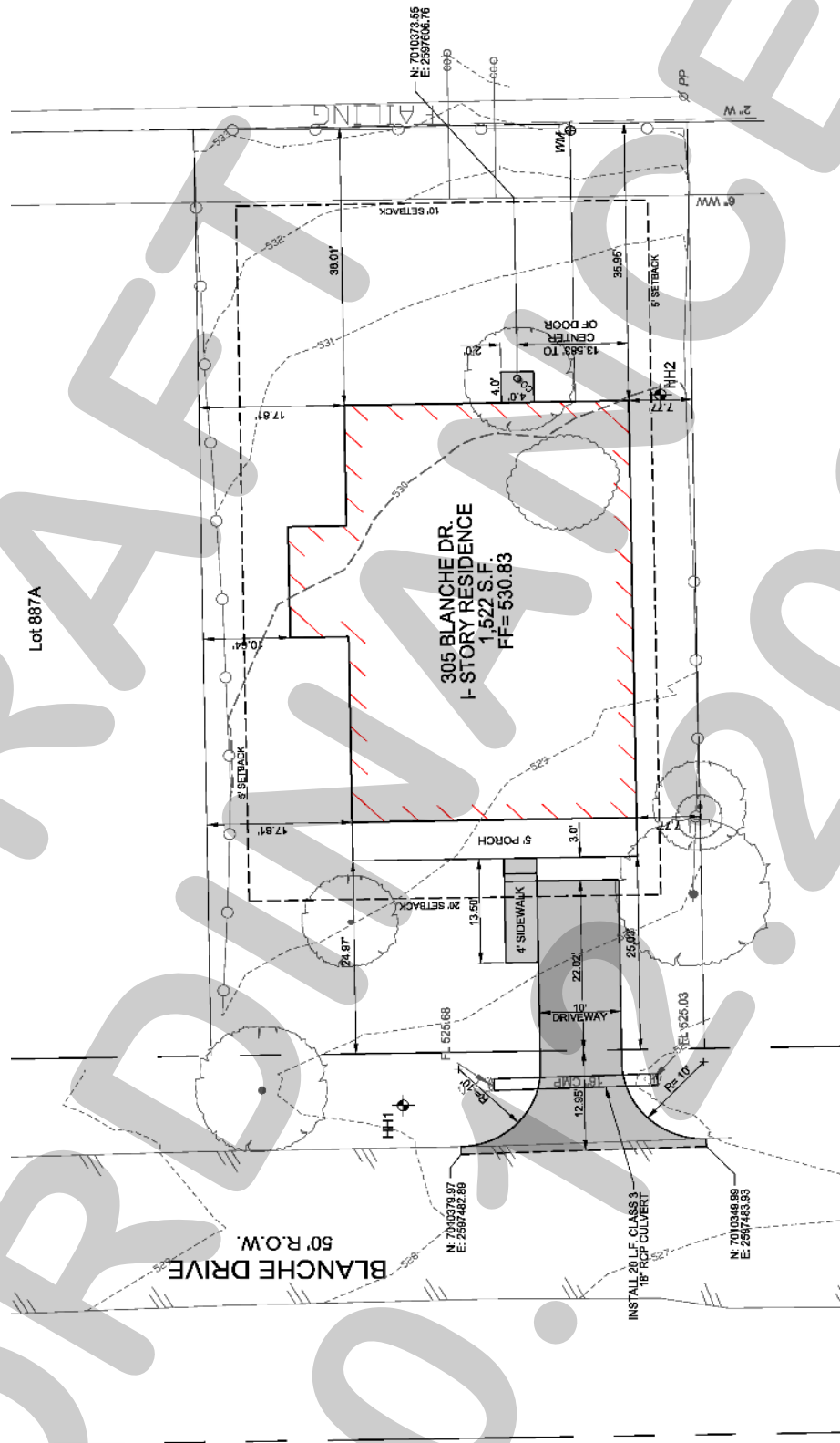
Exhibit 'A'
Location Map and Survey

Address: 305 Blanche Drive

Legal Description: Lot 888-A, Rockwall Lake Estates #2 Addition



**Exhibit 'B':
Residential Plot Plan**





CITY OF ROCKWALL
PLANNING AND ZONING COMMISSION MEMORANDUM
PLANNING AND ZONING DEPARTMENT
385 S. GOLIAD STREET • ROCKWALL, TX 75087
PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
FROM: Ryan Miller, *Director of Planning and Zoning*
DATE: October 12, 2021
SUBJECT: Z2021-040; *Amendment to Article 04, Permissible Uses, and Article 13, Definitions, of the Unified Development Code (UDC) for Urban Residential*

On September 7, 2021, the City Council directed staff to amend Article 04, *Permissible Uses*, and Article 13, *Definitions*, of the Unified Development Code (UDC) to make changes to the *Urban Residential* land use.

Background on the Urban Residential Land Use

The *Urban Residential* land use was originally created with the adoption of the Unified Development Code (UDC) on June 7, 2004 by *Ordinance No. 04-38*. At the time of adoption, this undefined land use was only permitted *by-right* in the Central Business District (CBD) and by Specific Use Permit (SUP) in the Multi-Family 14 (MF-14) District. The land use standards for this land use (*at that time of adoption and remaining unchanged today*) are as follows:

Urban Residential

- (1) *Urban Residential* includes residential development which at least partly face streets, public sidewalks, or common open space, or which are located above retail office or service uses.
- (2) Ground floor *Urban Residential* should have direct access to a sidewalk via a stoop or landing, and a majority of parking should be located in a structure.

Staff should note, that this land use was created as a result of the *Downtown Plan: Blueprint for a Downtown Village* [referred to as the *Downtown Plan*], which was drafted by a team of consultants and adopted by the City Council on November 15, 2004. This plan states that "(i)n the Downtown District, there should be a variety of housing including townhomes, lofts (*with or without retail at grade*) and "big home" style properties (*buildings and site plans which look like large homes, but may contain 2-6 or so living units*) ..." and that "... these properties should be targeted to young professionals, 'empty nesters' and retirees." When the Downtown (DT) District was created by *Ordinance No. 07-06* on February 5, 2007 the *Urban Residential* land use was indicated as being a permitted *by-right* land use in this ordinance (*subject to the land use standards above*). The reason for this was most likely due to the fact that the land use was previously allowed *by-right* in the Central Business District (CBD), and that the Downtown (DT) District was designed to replace this district moving forward.

On September 3, 2019, the City Council adopted *Ordinance No. 19-32*, which provided definitions for all land uses contained in the *Permissible Use Charts* as stipulated by Article 04, *Permissible Uses*, of the Unified Development Code (UDC). The change defined *Urban Residential* as "... (a) development situated within the City's Downtown (DT) District -- *which is also referred to as the urban core* -- that allows for multiple single-family dwelling units grouped into a single building."

Proposed Changes to Ensure a Public Hearing is Required

The following changes are being proposed to ensure that a public hearing is required for all *Urban Residential* requests moving forward:

LAND USE SCHEDULE		LAND USE DEFINITION REFERENCE [Reference Article XIII, <u>Definitions</u>]	CONDITIONAL USE REFERENCE Reference Article IV, <u>Permissible Uses</u>	RESIDENTIAL DISTRICTS														MIXED USE DISTRICTS	NON-RESIDENTIAL DISTRICTS			OVERLAY DISTRICTS			
				Agricultural (AG) District	Single Family Estate 1.5 (SFE-1.5) District	Single Family Estate 2.0 (SFE-2.0) District	Single Family Estate 4.0 (SFE-4.0) District	Single Family 1 (SF-1) District	Single Family 16 (SF-16) District	Single Family 10 (SF-10) District	Single Family 8.4 (SF-8.4) District	Single Family 7 (SF-7) District	Zero Lot-Line (ZL-5) District	Two-Family (2F) District	Multi-Family 14 (MF-14) District	Downtown (DT) District	Residential Office (RO) District	Neighborhood Services (NS) District	General Retail (GR) District	Commercial (C) District	Heavy Commercial (HC) District	Light Industrial (LI) District	Heavy Industrial (HI) District	Scenic Overlay (SOV) District	SH-66 Overlay (SH-66) District
LAND USES																									
RESIDENTIAL AND LODGING LAND USES		2.02(B)	2.03(B)																						
	Townhouse	<u>(22)</u>	<u>(15)</u>											P	P	P									
	Urban Residential	<u>(23)</u>	<u>(16)</u>											S	PS										

ADDITIONS: **HIGHLIGHTED**; DELECTION: ~~HIGHLIGHTED STRIKETHROUGH~~

By making this change and requiring the *Urban Residential* land use to get a Specific Use Permit (SUP) in the Downtown (DT) District, the City Council will retain more discretion with each specific request. In addition, staff is also proposing to amend the definition of *Urban Residential* to include only certain types of housing. Specifically, the definition is being changed to "...(a) development situated within the City's Downtown (DT) District -- which is also referred to as the urban core -- that allows for single-family, single-family attached, townhomes, and lofts (*i.e. one [1] story of residential above commercial only*)."

Process for Text Amendment

In the attached packet, staff has provided the proposed changes to Article 04, *Permissible Uses*, and Article 13, *Definitions*, of the Unified Development Code (UDC). In accordance, with Section 02.04(B) of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), staff is bringing the proposed amendment forward to the Planning and Zoning Commission for a recommendation to the City Council. Staff has sent out a 15-day notice to the Rockwall Herald Banner in accordance with all applicable state laws and Section 02.03(A)(3) of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC). Should the Planning and Zoning Commission have any questions staff will be available at the meeting on October 12, 2021.

LAND USE SCHEDULE

LEGEND:

	Land Use <i>NOT</i> Permitted
P	Land Use Permitted <i>By-Right</i>
P	Land Use Permitted with Conditions
S	Land Use Permitted Specific Use Permit (SUP)
X	Land Use Prohibited by Overlay District
A	Land Use Permitted as an Accessory Use

LAND USES	LAND USE DEFINITION REFERENCE [Reference Article 13, Definitions]	CONDITIONAL USE REFERENCE Reference [Article 04, Permissible Uses]	RESIDENTIAL DISTRICTS											MIXED USE DISTRICTS		NON-RESIDENTIAL DISTRICTS					OVERLAY DISTRICTS				
			Agricultural (AG) District	Single Family Estate 1.5 (SFE-1.5) District	Single Family Estate 2.0 (SFE-2.0) District	Single Family Estate 4.0 (SFE-4.0) District	Single Family 1 (SF-1) District	Single Family 16 (SF-16) District	Single Family 10 (SF-10) District	Single Family 8.4 (SF-8.4) District	Single Family 7 (SF-7) District	Zero Lot-Line (ZL-5) District	Two-Family (2F) District	Multi-Family 14 (MF-14) District	Downtown (DT) District	Residential Office (RO) District	Neighborhood Services (NS) District	General Retail (GR) District	Commercial (C) District	Heavy Commercial (HC) District	Light Industrial (LI) District	Heavy Industrial (HI) District	Scenic Overlay (SOV) District	SH-66 Overlay (SH-66) District	IH-30 Overlay (IH-30 OV) District
Limited-Service Hotel	(10)													S			S	S		S					
Full-Service Hotel	(11)	(8)												S			S	S		S					
Residence Hotel	(12)													S			S	S		S					
Motel	(13)													S			S	S		S					
Multi-Family Development or Structure	(14)	(9)													P										
Portable Building	(15)	(10)		P	P	P	P	P	P	P	P	P	P	P											
Residential Infill in an Established Subdivision	(16)	(11)	S	S	S	S	S	S	S	S	S	S	S	S	S	S									
Single-Family Attached Structure	(17)	(12)												P	P	P									
Single-Family Detached Structure	(18)	(13)	P	P	P	P	P	P	P	P	P	P	P	P			P								
Single-Family Zero Lot Line Structure	(19)	(14)												P	P	P									
Private Swimming Pool	(20)		A	A	A	A	A	A	A	A	A	A	A	A	A	A									
Private Tennis Court	(21)		A	S	S	S	S	S	S	S	S	S	S	S			S								
Townhouse	(22)	(15)													P	P	P								
Urban Residential	(23)	(16)													S	PS									
INSTITUTIONAL AND COMMUNITY SERVICE LAND USES			2.02(C)	2.03(C)																					
Assisted Living Facility	(1)	(1)													P	S	S	S	S	S	S		S		
Blood Plasma Donor Center	(2)																P	P	P	P	P	P	P		
Cemetery/Mausoleum	(3)		S														P	P	P	P	P	P	P		
Church/House of Worship	(4)	(2)	S	S	S	S	S	S	S	S	S	S	S	P	S		P	S	S	P	P	P	P		
College, University, or Seminary	(5)														P			S	P	P	P				
Convalescent Care Facility/Nursing Home	(6)														S	S	P	P	P	P	P	S			
Congregate Care Facility/Elderly Housing	(7)	(3)													P	S	S	S	S	S		S			
Crematorium	(8)																					S	P		
Daycare with Seven (7) or More Children	(9)	(4)	S	S	S	S	S	S	S	S	S	S	S	S	S	S	P	P	P	P	P	S	S		
Emergency Ground Ambulance Services	(10)																P	P	P	P	P				



- (6) Commercial Garage. Any premises and/or structures used for housing more than three (3) motor vehicles or where any vehicles are kept for remuneration, hire, or sale and where a retail service station may be maintained as a secondary use.
- (7) Residential Garage. A residential accessory building used for the storage motor vehicles. These structures are typically attached to the primary structure; however, they may also be a detached structure.
- (8) Guest Quarters/Secondary Living Unit. An accessory building designed for the temporary occupancy of guests of the primary dwelling for which there is no remuneration and is not rented or otherwise used as a separate domicile.
- (9) Home Occupation. A commercial use customarily carried on in the home by members of the occupant family without structural alterations in the principal building or any of its rooms, without offering any commodity or service for sale on premises, without the installations of machinery or additional equipment other than that customary to normal household operations, without the employment of additional persons, without the use of a sign to advertise the occupations, and which does not cause the generation of other than normal noise, and pedestrian and vehicular traffic.
- (10) Limited-Service Hotel. A building or group of buildings used as a temporary dwelling place for individuals in exchange of financial consideration where customary hotel services such as linen, maid service, and telephone are provided. Hotel room units are accessed through doorways into an internal hallway, courtyard, or lobby. Financial consideration for hotel room units is generally calculated on a nightly basis.
- (11) Full-Service Hotel. A building or group of buildings designed for and occupied as a temporary dwelling place. Access to guestrooms shall be restricted exclusively to interior corridors, that shall be accessed via the main lobby of the building or entryways individually equipped with some form of security-controlled access system. Customary hotel services such as linen, maid service, telephone, and other guest amenities are provided and may also contain various personal service shops.
- (12) Residence Hotel. A building or group of buildings used as a temporary dwelling place for individuals in exchange for financial consideration where customary hotel services such as linen, maid service, and telephone are provided. Residence hotel room units are designed to be suitable for long-term occupancy with financial consideration being calculated on a nightly, weekly, and/or monthly basis. Typical residence hotel attributes include, but are not limited to, kitchen facilities, two-story design, and external doorways into room units.
- (13) Motel. A building or group of buildings used as a temporary dwelling place for individuals in exchange for financial consideration where customary hotel services such as linen, maid service, and telephone are provided. Each motel room unit has direct access to the outside. Financial consideration for motel room units is generally calculated on a nightly basis.
- (14) Multi-Family Structure or Development. A development consisting of at least three (3) single-family dwelling units

grouped into a single building or multiple buildings on an individual parcel of land. Examples of a *Multi-Family Development* include Triplexes, Quad or Fourplexes, apartments, condominiums, and etcetera.

- (15) Portable Building. A temporary building that may or may not have a foundation and is transportable.
 - (16) Residential Infill in or Adjacent to an Established Subdivision. The new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out.
 - (17) Single-Family Attached Structure. A single-family residential structure that is occupied by one (1) family and shares a common wall or walls with another single-family residential structure, but that is on an individual lot and can be conveyed individually (*i.e. one [1] dwelling unit per lot*).
 - (18) Single-Family Detached Structure. A single-family residential structure that is occupied by one (1) family, is situated on a single parcel of land, does not share a common wall or wall with any adjacent structures, and can be conveyed individually (*i.e. one [1] dwelling unit per lot*).
 - (19) Single-Family Zero Lot Line Structure. A single-family detached structure that has a wall or walls that comes up to, or very near to, the edge of the property line on one (1) side of the property.
 - (20) Private Swimming Pool. A swimming pool constructed for the exclusive use of the property owner and/or residents of a single-family, duplex, multi-family structure or development. A private swimming pool shall not be operated as a business.
 - (21) Private Tennis Court. A surface designed and constructed for playing the game of tennis along with all fencing, nets and related appurtenances but excluding lighting for night play in residential areas except as may be otherwise permitted.
 - (22) Townhouse. A single-family residential structure that is occupied by one (1) family and shares a common wall or walls with another single-family residential structure, but that is on an individual lot and can be conveyed individually (*i.e. one [1] dwelling unit per lot*). These units are typically constructed in a series or group of units.
 - (23) Urban Residential. A development situated within the City's Downtown (DT) District -- which is also referred to as the urban core -- that allows for multiple single-family, single-family attached, townhomes, and lofts (*i.e. one [1] story of residential above commercial only*) dwelling units grouped into a single building. This type of structure typically contains a mix of office, retail, and residential land uses.
- (C) Institutional and Community Service Land Uses.
- (1) Assisted Living Facility. A facility that is licensed under Chapter 247, *Assisted Living Facilities*, of the Texas Health and Safety Code that furnishes -- in one (1) or more buildings -- food, shelter, and limited assistance to persons who are unrelated to the proprietor of the establishment, and also provides personal care services.

CITY OF ROCKWALL

ORDINANCE NO. 21-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, BY AMENDING ARTICLE 04, *PERMISSIBLE USES*, AND ARTICLE 13, *DEFINITIONS*, AS DEPCITED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, an amendment to the City of Rockwall's Unified Development Code [*Ordinance No. 20-02*] has been initiated by the City Council of the City of Rockwall to amend Article 04, *Permissible Uses*, and Article 13, *Definitions*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*]; and,

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the city's corporate boundaries, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code [*Ordinance No. 20-02*] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended as specifically described in *Exhibit 'A'* of this ordinance;

SECTION 2. That Article 13, *Definitions*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended as specifically described in *Exhibit 'B'* of this ordinance;

SECTION 3. That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars (\$2,000.00)* for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 4. That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code [*Ordinance No. 04-38*], and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

SECTION 5. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 1ST DAY OF NOVEMBER, 2021.

Kevin Fowler, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: October 18, 2021

2nd Reading: November 1, 2021

Exhibit 'A'
 Article 04, Permissible Uses, of the
 Unified Development Code (UDC)

Additions: **Highlighted**
 Deletions: **Highlighted, Strikeout**

LAND USE SCHEDULE	LAND USE DEFINITION REFERENCE [Reference Article XIII, Definitions]	CONDITIONAL USE REFERENCE Reference Article IV, Permissible Uses]	RESIDENTIAL DISTRICTS													MIXED USE DISTRICT S	NON-RESIDENTIAL DISTRICTS	OVERLAY DISTRICT S							
			Agricultural (AG) District	Single Family Estate 1.5 (SFE-1.5) District	Single Family Estate 2.0 (SFE-2.0) District	Single Family Estate 4.0 (SFE-4.0) District	Single Family 1 (SF-1) District	Single Family 16 (SF-16) District	Single Family 10 (SF-10) District	Single Family 8.4 (SF-8.4) District	Single Family 7 (SF-7) District	Zero Lot-Line (ZL-5) District	Two-Family (2F) District	Multi-Family 14 (MF-14) District	Downtown (DT) District	Residential Office (RO) District	Neighborhood Services (NS) District	General Retail (GR) District	Commercial (C) District	Heavy Commercial (HC) District	Light Industrial (LI) District	Heavy Industrial (HI) District	Scenic Overlay (SOV) District	SH-66 Overlay (SH-66) District	IH-30 Overlay (IH-30 Ov) District
LAND USES																									
RESIDENTIAL AND LODGING LAND USES	2.02(B)	2.03(B)																							
Townhouse	(22)	(15)																							
Urban Residential	(23)	(16)																							

LEGEND:

	Land Use <u>NOT</u> Permitted
P	Land Use Permitted <i>By-Right</i>
P	Land Use Permitted with Conditions
S	Land Use Permitted Specific Use Permit (SUP)
X	Land Use Prohibited by Overlay District
A	Land Use Permitted as an Accessory Use



Exhibit 'B'
Article 13, Definitions, of the
Unified Development Code (UDC)

Additions: Highlighted

Deletions: Highlighted, Strikeout

SECTION 02 | WORDS, TERMS, AND LAND USES DEFINED
SUBSECTION 02.02: LAND USE DEFINITIONS

(B) Residential and Lodging Uses.

- (23) *Urban Residential*. A development situated within the City's Downtown (DT) District -- which is also referred to as the urban core -- that allows for multiple single-family, single-family attached, townhomes, and lofts (i.e. one [1] story of residential above commercial only) dwelling units grouped into a single building. This type of structure typically contains a mix of office, retail, and residential land uses.



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

DATE: October 12, 2021

APPLICANT: Aaron Hawkins; Jones|Carter Engineering

CASE NUMBER: Z2021-041; *Specific Use Permit for a Restaurant with less than 2,000 SF with Drive-Through or Drive-In*

SUMMARY

Hold a public hearing to discuss and consider a request by Aaron Hawkins on behalf of Tim Thompson of Metroplex Acquisitions for the approval of a Specific Use Permit (SUP) for *Restaurant with Less Than 2,000 SF with a Drive-Through or Drive-In* for the purpose of constructing a restaurant (i.e. Salad and Go) on a 0.81-acre portion of a larger 5.96-acre parcel of land identified as Lot 11, Block A, Stone Creek Retail Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 70 (PD70) for General Retail (GR) District land uses, situated within North SH-205 Overlay (N. SH-205 OV) District, generally located northeast of the intersection of N. Goliad Street [SH-205] and Bordeaux Drive, and take any action necessary.

BACKGROUND

The subject property was annexed into the City of Rockwall on May 19, 1986 by *Ordinance No. 86-37*. On December 7, 1993, the City's historic zoning map indicates the subject property was zoned Agricultural (AG) District. On April 2, 2007, the City Council approved a zoning change for the subject property changing the zoning designation from an Agricultural (AG) District to Planned Development District 70 (PD-70) [*Ordinance No. 07-13*] for General Retail (GR) District land uses. On October 5, 2020, the City Council approved a replat [*Case No. P2020-038*] that replatted the subject property as Lot 11, Block A, Stone Creek Retail Addition.

PURPOSE

The applicant -- *Aaron Hawkins* -- is requesting the approval of a Specific Use Permit (SUP) to allow for a *Restaurant with less than 2,000 SF with Drive-Through or Drive-In* on the subject property.

ADJACENT LAND USES AND ACCESS

The subject property is generally located northeast of the intersection of N. Goliad Street [SH-205] and Bordeaux Drive. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject is a *Restaurant with more than 2,000 SF with a Drive-Through (i.e. McDonald's)*. Beyond this is a *Retail Store with Gasoline Sales (i.e. Tom Thumb Gas Station)*. North of this is approximately 6,681 SF shopping center (*i.e. Medpost Urgent Care, Smilemakers Orthodontics, The UPS Store*). All of these properties are zoned Planned Development District 70 (PD-70) for General Retail (GR) District land uses. Beyond this is FM-552, which is identified as a TXDOT4D (*i.e. Texas Department of Transportation, four [4] lane, divided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

South: Directly south of the subject property is Bordeaux Drive, which is identified as a M4D (*i.e. major collector, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is Phase 1 of the Stone Creek Subdivision, which is an 83.57-acre residential subdivision zoned Planned Development District 70 (PD-70) for Single-Family 10 (SF-10) District land uses.

East: Directly east of the subject property is Stone Creek Drive, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is Phases 2B & 6 of the Stone Creek Subdivisions, which are zoned Planned Development District 70 (PD-70) for Single-Family 10 (SF-10) District land uses. Beyond this is the Hamm Elementary School which is zoned Planned Development District 70 (PD-70) for Single-Family 10 (SF-10) District land uses.

West: Directly west of the subject property is N. Goliad Street [*SH-205*], which is identified as a M4D (*i.e. major collector, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are two (2) parcels of land (*i.e. 3069 and 3073 N. Goliad Street*), zoned Single-Family 16 (SF-16) District. Beyond this is Phase 6 of the Shores Subdivision, which consists of 70 lots and is zoned Planned Development District 3 (PD-3) for single-family land uses.

CHARACTERISTICS OF THE REQUEST

The applicant has submitted an application, letter, and a concept plan requesting a Specific Use Permit (SUP) for a *Restaurant with less than 2,000 SF with Drive-Through or Drive-In* for the purpose of establishing a Salad and Go restaurant. The drive-through lane on the south side of the building -- *as indicated on the concept plan* -- is an online order only pick-up window. The applicant indicated at the Planning and Zoning Commission work session that the maximum stacking capacity is ~15 vehicles. The bail out lane for the drive-through is located near the northeast side of the property and is depicted as a 16-foot cross access drive. This will be required to be signed as a one (1) way exit lane.

CONFORMANCE WITH THE CITY'S CODES

Article 13, *Definitions*, of the Unified Development Code (UDC), defines a *Restaurant with Drive Through or Drive-In* as "(a) place of business whose primary source of revenue is derived from the sale of prepared food to the general public for consumption on-premise or off-premises and/or in a personal vehicle or where facilities are provided on the premises that encourages the serving and consumption of food in a personal vehicle on or near the restaurant premises.." In this case, the applicant's proposed business -- *Salad and Go* -- falls under this classification. According to *Permissible Use Charts* contained in Article 04, *Permitted Uses*, of the Unified Development Code (UDC), a *Restaurant with Drive Through or Drive-In* requires a Specific Use Permit (SUP) in a General Retail (GR) District. The purpose of this requirement is to acknowledge that not all *Restaurant* operations are appropriate within the City's general retail areas, and that the City Council should have discretionary oversight with regard to the types of *Restaurant* operations and their impacts within these types of districts. In addition, Subsection 02.03(f)(9) places the following additional conditions on this land use:

- (1) Drive-through lanes shall not have access to a local residential street.
- (2) Additional landscape screening shall be installed adjacent to drive-through lanes to impair visibility and impact of headlights from motor vehicles in the drive-through lane on adjacent properties, rights-of-way, parks and open space.
- (3) Unless otherwise approved by the Planning and Zoning Commission, stacking lanes for a drive-through service window shall accommodate a minimum of six (6) standard sized motor vehicles.

The applicant's request does appear to conform to the requirements stipulated by the Unified Development Code (UDC); however, staff has incorporated an additional condition that will require mature landscaping be planted along the entire length of the proposed drive-through lane and along N. Goliad Street [*SH-205*] to provide headlight screening from N. Goliad Street [*SH-205*] and the adjacent properties. The Unified Development Code (UDC) requires headlight screening to be a minimum of three (3) feet in height.

STAFF ANALYSIS

The intent of the General Retail (GR) District is to provide limited retail and service uses for nearby residential neighborhoods. Development in these areas should not include intensive commercial land uses that carry large volumes of retail traffic. Developments should also be adequately buffered and screened from residential land uses. Since the General Retail (GR) District is located close to residential areas, the development standards are typically more stringent and similar to the Residential-Office (RO) and Neighborhood Services (NS) Districts. All of these districts are intended to create a transition from the adjacent residential neighborhoods to less intense non-residential land uses. When reviewing this case, the proposed land use does appear to be appropriate for this location due to the separation of the subject property from the nearby residential

development and its proximity to N. Goliad Street [SH-205] (which is identified as a M4D [major collector, four [4] lane, divided roadway] on the City's Master Thoroughfare Plan). With this being said, approval of a Specific Use Permit (SUP) is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

NOTIFICATIONS

On September 23, 2021, staff mailed 26 notices to property owners and occupants within 500-feet of the subject property. Staff also notified the Stone Creek and Harlan Park Homeowner's Associations (HOAs), which are the only HOAs/Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted staff had not received any notices.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP) for a *Restaurant with less than 2,000 SF with Drive-Through or Drive-In*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) The development of the *Subject Property* shall generally conform to the Concept Plan as depicted in *Exhibit 'B'* of the SUP ordinance.
 - (b) Mature landscaping shall be planted along the entire length of the proposed drive-through and along N. Goliad Street [SH-205] to provide headlight screening from N. Goliad Street [SH-205] and the adjacent property owners.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22021-041

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ¹
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST (\$100.00)

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 3068 N Goliad St.

SUBDIVISION Stone Creek Retail Addition LOT 11 BLOCK A

GENERAL LOCATION Property ID: 104324 (NE corner of SH 205 & Bordeaux)

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING PD-70 (Planned Development)

CURRENT USE undeveloped

PROPOSED ZONING PD-70 (Planned Development)

PROPOSED USE Drive through Restaurant

ACREAGE ~0.82

LOTS [CURRENT]

1

LOTS [PROPOSED]

1

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Metroplex Acquisition Fund, LP

APPLICANT Aaron Hawkins

CONTACT PERSON Tim Thompson

CONTACT PERSON Aaron Hawkins

ADDRESS 12720 Hillcrest Rd.
Suite 650

ADDRESS 4500 Mercantile Plaza Dr.
Suite 210

CITY, STATE & ZIP Dallas, TX 75230

CITY, STATE & ZIP Fort Worth, Texas 76137

PHONE 214/365-4682

PHONE 682-268-2207

E-MAIL tthompson@creativecompanies.com

E-MAIL ahawkins@jmcscarter.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Tim Thompson [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 715.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 2021. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONNECTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.*


GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 15th DAY OF September, 2021.

OWNER'S SIGNATURE [Signature]
NOTARY PUBLIC AND FOR THE STATE OF TEXAS Sheila Green

MY COMMISSION EXPIRES 9-15-2024





Z2021-041- SUP FOR SALAD AND GO
 ZONING - LOCATION MAP = 

0 30 60 120 180 240 Feet

GOLIAD

BORDEAUX

BORDEAUX

MIRAMAR



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

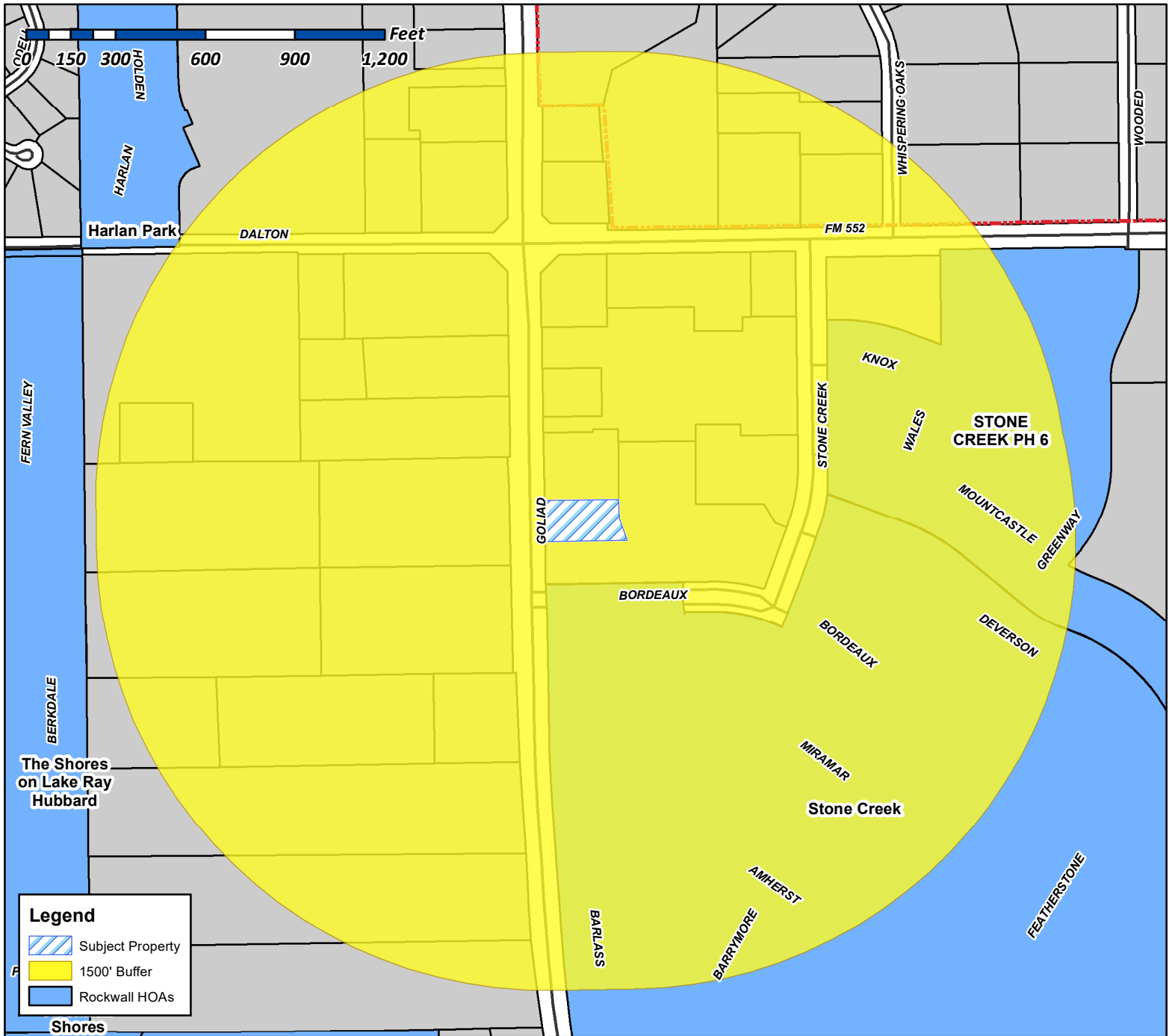




City of Rockwall

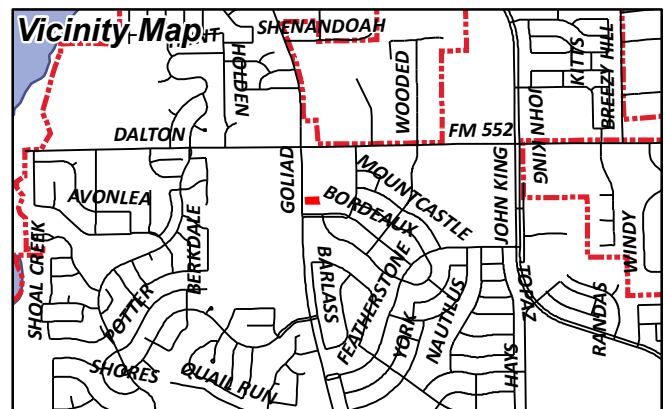
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2021-041
Case Name: SUP for Salad and Go
Case Type: Zoning
Zoning: Planned Development District 70 (PD-70)
Case Address: 3068 N. Goliad Street

Date Created: 9/17/2021
 For Questions on this Case Call (972) 771-7745



Miller, Ryan

From: Gamez, Angelica
Sent: Thursday, September 23, 2021 3:37 PM
Cc: Miller, Ryan; Gonzales, David; Reyna, Andrew; Lee, Henry
Subject: Neighborhood Notification Program [Z2021-041]
Attachments: Public Notice (09.24.2021).pdf; HOA Map Z2021-041.pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on *September 24, 2021*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, October 12, 2021 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, October 18, 2021 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website:

<https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2021-041- SUP for Restaurant with Less Than 2,000 SF

Hold a public hearing to discuss and consider a request by Aaron Hawkins on behalf of Tim Thompson of Metroplex Acquisitions for the approval of a *Specific Use Permit (SUP)* for *Restaurant with Less Than 2,000 SF with a Drive-Through or Drive-In* for the purpose of constructing a restaurant (*i.e. Salad and Go*) on a 0.81-acre portion of a larger 5.96-acre parcel of land identified as Lot 11, Block A, Stone Creek Retail Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 70 (PD-70) for General Retail (GR) District land uses, situated within North SH-205 Overlay (N. SH-205 OV) District, generally located northeast of the intersection of N. Goliad Street [*SH-205*] and Bordeaux Drive, and take any action necessary.

Thank you,

Angelica Gamez

Planning & Zoning Coordinator

City of Rockwall

972.771.7745 Office

972.772.6438 Direct

<http://www.rockwall.com/planning/>

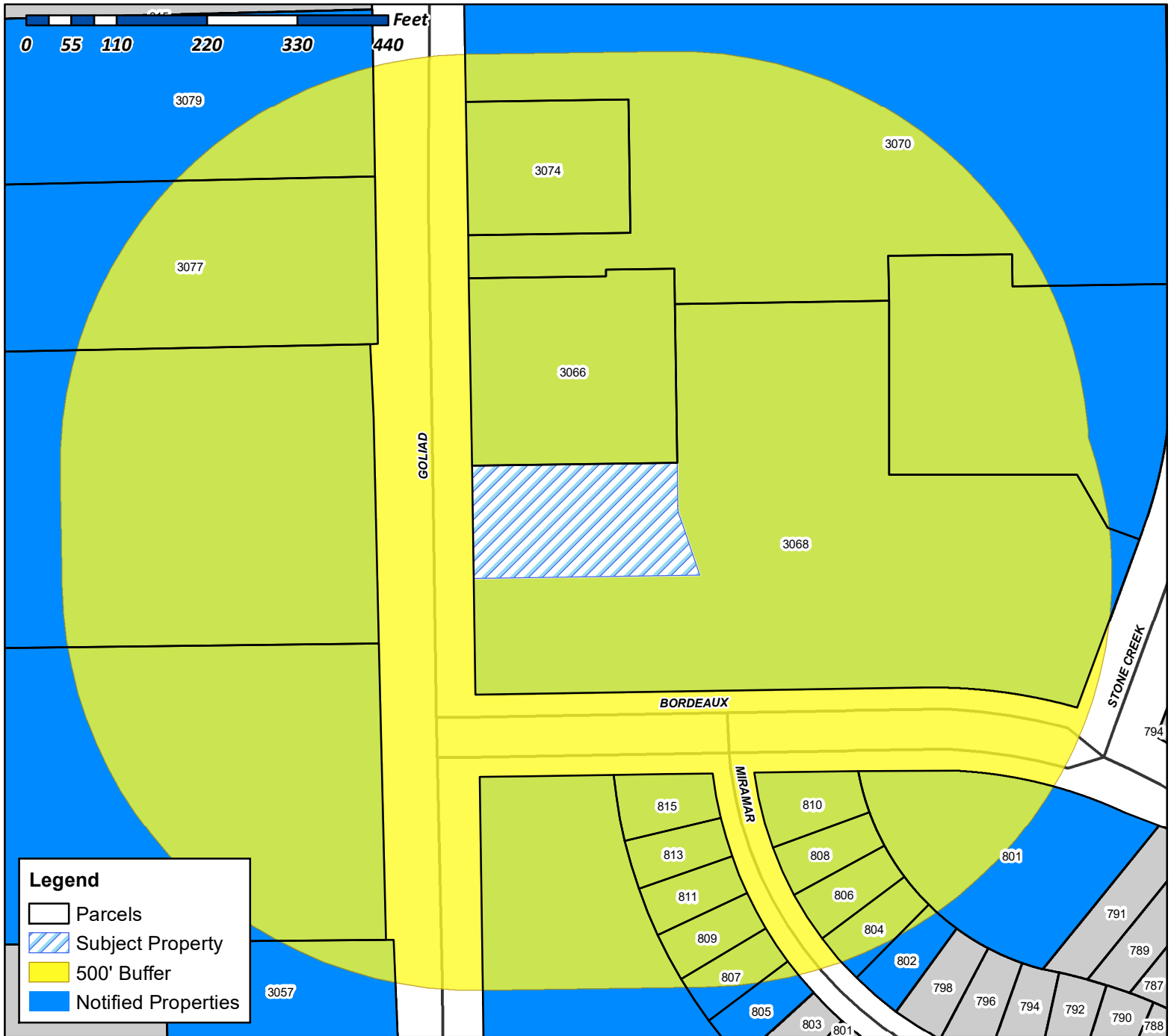
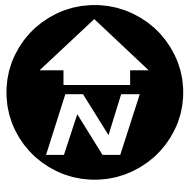
This email was scanned by Bitdefender



City of Rockwall

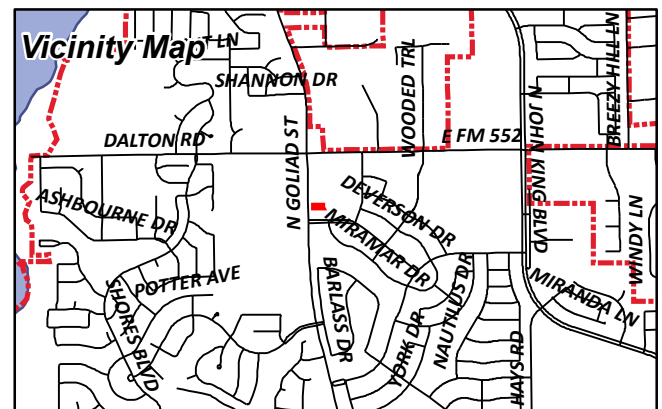
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2021-041
Case Name: SUP for Salad and Go
Case Type: Zoning
Zoning: Planned Development District 70 (PD-70)
Case Address: 3068 N. Goliad Street

Date Created: 9/17/2021
 For Questions on this Case Call (972) 771-7745



ROCKWALL STONE CREEK ESTATES
HOMEOWNERS ASSOCIATION INC
C/O NEIGHBORHOOD MANAGEMENT INC
1024 S GREENVILLE AVE SUITE 230
ALLEN, TX 75002

METROPLEX ACQUISITION FUND, LP
1717 WOODSTEAD CT STE 207
THE WOODLANDS, TX 77380

STEED JASON & NATALIE MARIE
3065 N GOLIAD STREET
ROCKWALL, TX 75087

METROPLEX ACQUISITION FUND LP
C/O RONALD DRIBBEN
3066 N GOLIAD
ROCKWALL, TX 75087

METROPLEX ACQUISITION FUND, LP
3068 N GOLIAD ST
ROCKWALL, TX 75087

LIU JOHN AND CONNIE Q
3069 N GOLIAD
ROCKWALL, TX 75087

METROPLEX ACQUISITION FUND, LP
3070 N GOLIAD ST
ROCKWALL, TX 75087

METROPLEX ACQUISITION FUND, LP
3074 N GOLIAD
ROCKWALL, TX 75087

LIU JOHN & CONNIE
3077 N GOLIAD ST
ROCKWALL, TX 75087

FRENCH DONALD
3079 N GOLIAD ST
ROCKWALL, TX 75087

METROPLEX ACQUISITION FUND LP
C/O RONALD DRIBBEN
357 MARIAH BAY DRIVE
HEATH, TX 75032

GEISENDORFF ALBERT G AND ANN M
3057 N GOLIAD ST
ROCKWALL, TX 75087

NORTH ROCKWALL REAL-ESTATE LLC
6245 RYEWORTH DRIVE
FRISCO, TX 75035

ROCKWALL STONE CREEK ESTATES
HOMEOWNERS ASSOCIATION INC
C/O NEIGHBORHOOD MANAGEMENT INC
801 BORDEAUX DR
ROCKWALL, TX 75087

CRAWFORD KATHY
802 MIRAMAR DRIVE
ROCKWALL, TX 75087

KIM YUN HYUN & JIN HEE JUNG
804 MIRAMAR DRIVE
ROCKWALL, TX 75087

GODINEZ KAREN W
805 MIRAMAR DRIVE
ROCKWALL, TX 75087

CYPERT LYNDOL & JERE
806 MIRAMAR DRIVE
ROCKWALL, TX 75087

SN DFW LLC
807 MIRAMAR DR
ROCKWALL, TX 75087

BAILEY JERRY SCOTT & KAREN RENEE
808 MIRAMAR DRIVE
ROCKWALL, TX 75087

GREER KRISTEN N
809 MIRAMAR DR
ROCKWALL, TX 75087

SHING RICHARD L & IVEY D
810 MIRAMAR DR
ROCKWALL, TX 75087

HASSAN ALAA E & PATRICIA ANN HASSAN
IBRAHIM
811 MIRAMAR DRIVE
ROCKWALL, TX 75087

ZAMBRANA MICHAEL & GABRIELA
813 MIRAMAR DRIVE
ROCKWALL, TX 75087

RAJBHANDARI SANJAY KUMAR
815 MIRAMAR DRIVE
ROCKWALL, TX 75087

SN DFW LLC
8390 E VIA DE VENTURA F-110 #303
SCOTTSDALE, AZ 85258

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2021-041: SUP for Restaurant with Less Than 2,000 SF

Hold a public hearing to discuss and consider a request by Aaron Hawkins on behalf of Tim Thompson of Metroplex Acquisitions for the approval of a Specific Use Permit (SUP) for Restaurant with Less Than 2,000 SF with a Drive-Through or Drive-In for the purpose of constructing a restaurant (i.e. Salad and Go) on a 0.81-acre portion of a larger 5.96-acre parcel of land identified as Lot 11, Block A, Stone Creek Retail Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 70 (PD-70) for General Retail (GR) District land uses, situated within North SH-205 Overlay (N. SH-205 OV) District, generally located northeast of the intersection of N. Goliad Street [SH-205] and Bordeaux Drive, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, October 12, 2021 at 6:00 PM, and the City Council will hold a public hearing on Monday, October 18, 2021 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Henry Lee
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, October 18, 2021 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

Case No. Z2021-041: SUP for Restaurant with Less Than 2,000 SF

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

[Redacted area]

Name: [Redacted]
Address: [Redacted]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



4500 Mercantile Plaza Drive, Suite 210
Plano, Texas 75093
Tel: 682.268.2200
Fax: 972.488.3882
www.jonescarter.com

September 14, 2021
Planning and Zoning
City of Rockwall
385 S Goliad St
Rockwall, TX 75087

**Salad and Go – Rockwall – Goliad and FM 522
Letter of Explanation**

Planning and Zoning,

This document shall serve as the Project Narrative to the City of Rockwall for the Special Use Permit Application submitted by Jones Carter Civil Engineering acting as applicant on behalf of the developer of Salad and Go, LLC. The current site is a vacant lot with zoning designation PD-70 (Planned Development). We are proposing to construct a new drive thru restaurant. The proposed restaurant will include an, approximately, 780 square foot building, canopy, drive thru lanes, along with associated parking and utilities.

The goal of Salad and Go is to provide better, healthier, and affordable food. The product is a small (~780 Square Foot) drive-thru with no dine in restaurant serving made to order salads, wraps, breakfast burritos, cold brew coffee and juices. Salad and Go does not

The operations of the development includes a delivery of fresh ingredients every morning outside of business hours. This delivery from local warehouses prevents the need for cooking in store which reduces the amount of waste produced on site. The meals are merely assembled on site.

Salad and Go operates with a maximum of nineteen employees with four working at any given time. Hours of operation are 6 a.m. - 9 p.m. every day. This development will not require outdoor storage or have other outdoor activities.

Overall, we believe this development will be a beneficial and exciting addition to the community.

Thank you for your consideration in the matter. Should you have any questions or require additional information, please call me.

Sincerely,

A handwritten signature in blue ink that reads 'Aaron Hawkins'.

Aaron Hawkins, EIT

K:\17007\17007-0037-00 Salad and Go - Goliad and FM 522 - Rockw\Project Management\Applications

METES AND BOUNDS DESCRIPTION

Being a 0.81 acre tract of land out of the WILLIAM G. DEWEES SURVEY, ABSTRACT NUMBER 71, situated in the City of Rockwall, Rockwall County, Texas, being a portion of Lot 11, Block A of Stone Creek Retail Addition, a subdivision of record in Document Number 20200000028484 of the Plat Records of Rockwall County, Texas, and being more particularly described by metes and bounds as follows:

BEGINNING, at a 5/8-inch iron rod with yellow plastic cap stamped "POGUE" found in the East right-of-way line of State Highway 205 (100-foot right-of-way), being the Southwest corner of Lot 7, Block A of Stone Creek Retail Addition, a subdivision of record in Cabinet H, Slide 157 of said Plat Records, also being the most Westerly Northwest corner of said Lot 11 and hereof;

THENCE, N89°10'05"E, leaving the East right-of-way line of State Highway 205, along the South line of said Lot 7, being the common North line of said Lot 11, a distance of 249.46 feet to an "X" cut found at the Southeast corner of said Lot 7, being an interior ell corner of said Lot 11, and being the Northeast corner hereof, from which an "X" cut found at the most Northerly Northwest corner of said Lot 11 bears N00°49'55"W, a distance of 193.03 feet;

THENCE, over and across said Lot 11, the following four (4) courses and distances:

1. S00°49'55"E, a distance of 52.41 feet to a 1/2-inch iron rod with green plastic cap stamped "EAGLE SURVEYING" set at the point of curvature of a tangent curve to the left;
2. Along said tangent curve to the left, having a radius of 44.00 feet, a chord bearing of S09°56'08"E, a chord length of 13.92 feet, a delta angle of 18°12'26", an arc length of 13.98 feet to a 1/2-inch iron rod with green plastic cap stamped "EAGLE SURVEYING" set at the point of tangency of said curve;
3. S19°02'20"E, a distance of 74.57 feet to a 1/2-inch iron rod with green plastic cap stamped "EAGLE SURVEYING" set for the Southeast corner hereof;
4. S89°10'05"W, a distance of 274.71 feet to a 1/2-inch iron rod with green plastic cap stamped "EAGLE SURVEYING" set in the East right-of-way line of State Highway 205, being the common West line of said Lot 11, for the Southwest corner hereof, from which a 5/8-inch iron rod found at the intersection of the East right-of-way line of State Highway 205 and the North right-of-way line of Bordeaux Drive (100-foot right-of-way), being the Southwest corner of said Lot 11, bears S00°56'17"E, a distance of 141.27 feet;

THENCE, N00°56'17"W, along the East right-of-way line of State Highway 205 and the common West line of said Lot 11, a distance of 137.00 feet to the **POINT OF BEGINNING**, and containing an area of 0.81 Acres, (35,150 Square Feet) of land, more or less.

CITY OF ROCKWALL

ORDINANCE NO. 21-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR A RESTAURANT LESS THAN 2,000 SF WITH DRIVE-THROUGH OR DRIVE-IN ON A 0.81-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 11, BLOCK A, STONE CREEK RETAIL ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN EXHIBIT 'A' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Aaron Hawkins for the approval of a Specific Use Permit (SUP) for a *Restaurant with Less Than 2,000 SF with Drive-Through or Drive-In* for the purpose of constructing a *drive-through restaurant* on a 0.81-acre parcel of land described as Lot 11, Block A, Stone Creek Retail Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 70 (PD-70) for General Retail (GR) District land uses, situated within the North SH-205 Overlay (N. SH-205 OV) District, generally located northeast of the intersection of N. Goliad Street [SH-205] and Bordeaux Drive, and being more specifically depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. The Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for a *Restaurant with Less Than 2,000 SF with Drive-Through or Drive-In* in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*, and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 04.04, *General Retail (GR) District*, and Subsection 06.11, *North SH-205 Overlay (N. SH-205 OV) District*, of Article 05, *District Development Standards*, of the Unified Development

Code (UDC) [Ordinance No. 20-02] and to the requirements set forth in Planned Development District 70 (PD-70) -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the operation of a *Restaurant with Less Than 2,000 SF with Drive-Through or Drive-In* on the *Subject Property* and conformance to these conditions is required for continued operation:

- 1) The development of the *Subject Property* shall generally conform to the Concept Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) Mature landscaping shall be planted along the entire length of the proposed drive-through and along N. Goliad Street [SH-205] to provide headlight screening from N. Goliad Street [SH-205] and the adjacent property owners.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Certificate of Occupancy (CO)*, should the business owner operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 1TH DAY OF NOVEMBER, 2021.

Kevin Fowler, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: October 18, 2021

2nd Reading: November 1, 2021

Exhibit 'A'
Location Map

Address: Northeast of the intersection of N. Goliad Street [SH-205] and Bordeaux Drive
Legal Description: Lot 11, Block A, Stone Creek Retail Addition

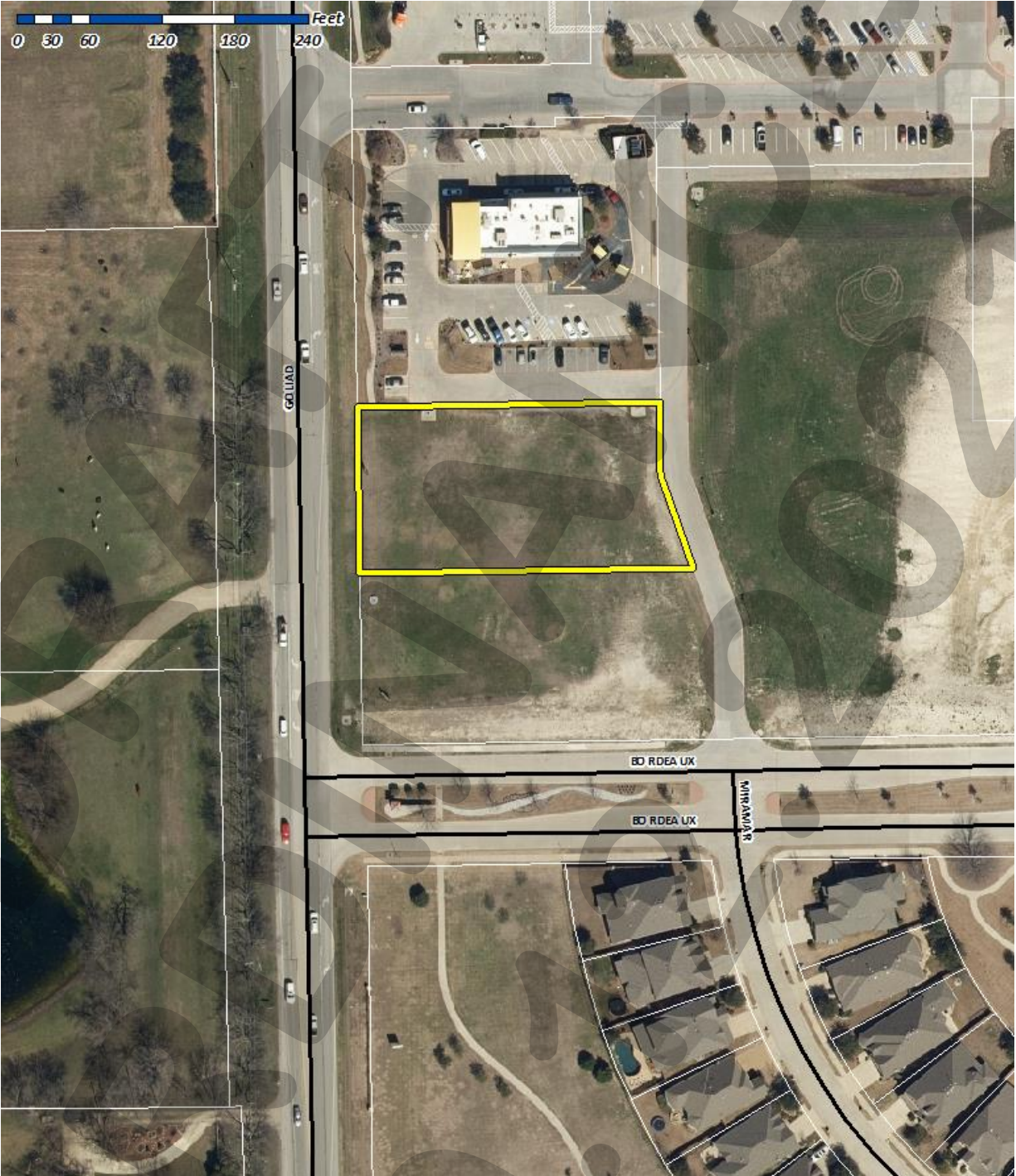
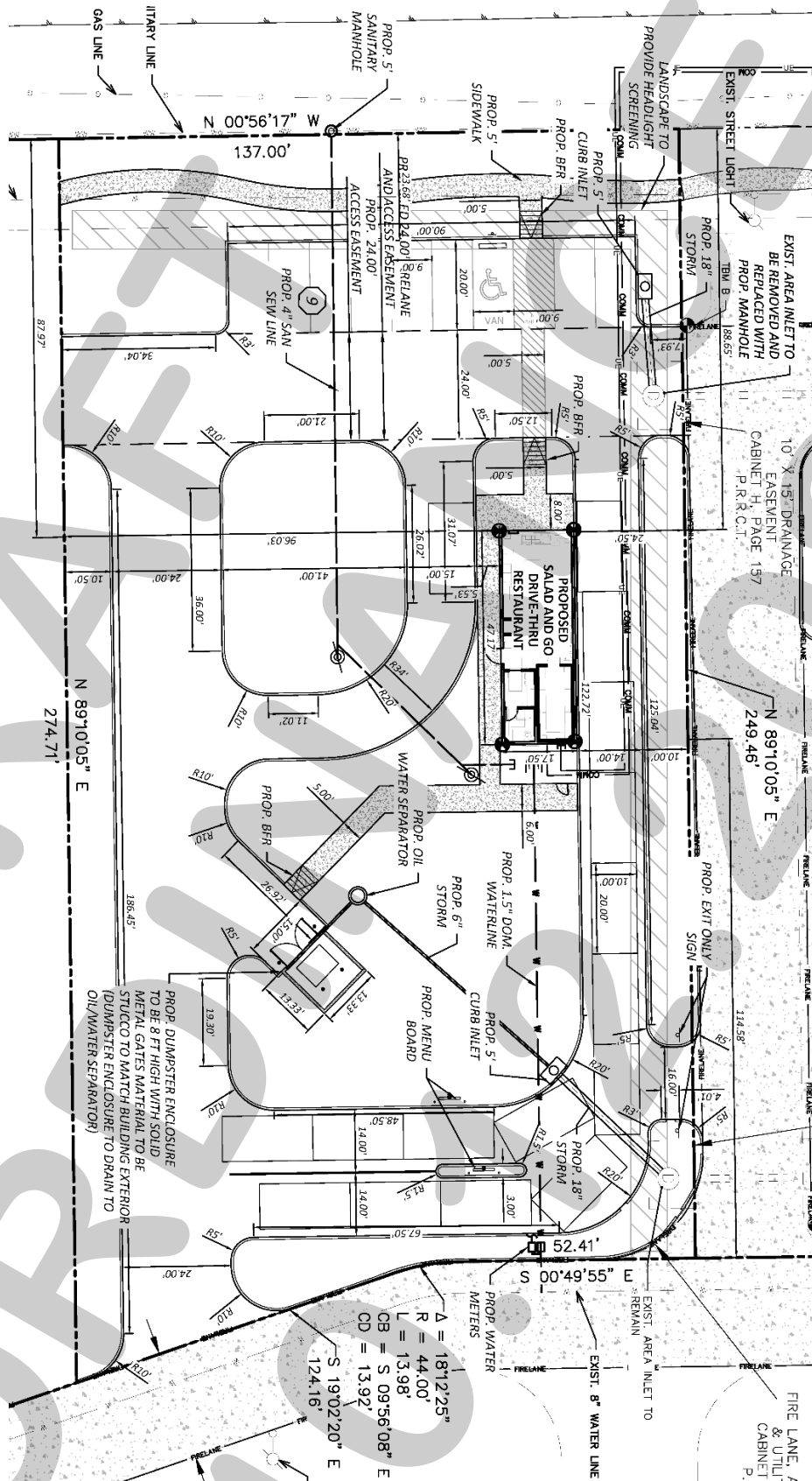


Exhibit 'B':
Concept Plan





CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: October 12, 2021
APPLICANT: Dub Douphrate; *Douphrate & Associates*
CASE NUMBER: SP2021-025; *Site Plan for St. Benedict's Anglican Church*

SUMMARY

Discuss and consider a request by Dub Douphrate of Douphrate & Associates, Inc. on behalf of Michael Vinson of St. Benedict's Anglican Church for the approval of a Site Plan for a *House of Worship* on a 7.45-acre tract of land identified as Tract 3 & 10 of the W. B. Bowles Survey, Abstract No. 12 and A. Hanna Survey Abstract No. 98, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, 1500 Sunset Hill Drive, and take any action necessary.

BACKGROUND

The subject property was annexed by the City Council on June 20, 1959 by *Ordinance No. 59-02*. Based on the City's historic zoning maps the subject property was rezoned from a Single-Family 2 (SF-2) District to a Single-Family 10 (SF-10) District at some point between January 3, 1972 and May 16, 1983. According to the Rockwall Central Appraisal District (RCAD), the existing single-family home was constructed in 1955, with the addition of a detached garage, carport, and balcony in 1969. The subject property is identified as Tracts 3 & 10 of the W. B. Bowles Survey, Abstract No. 12 and A. Hanna Survey, Abstract No. 98, and is comprised of a total of 7.45-acres. On August 2, 2021, the City Council approved a Specific Use Permit (SUP) [*Ordinance No. 21-29; S-250*] to allow for a *Church/House of Worship* on the subject property.

PURPOSE

On September 17, 2021, the applicant -- *Dub Douphrate of Douphrate & Associates*. -- submitted an application requesting the approval of a site plan for the purpose of establishing the parking areas and the landscaping for a future *House of Worship* on the subject property.

ADJACENT LAND USES AND ACCESS

The subject property is located at 1500 Sunset Hill Drive. The land uses adjacent to the subject property are as follows:

North: Directly north, and adjacent to, the subject property is the Northshore, Phase 2 Subdivision -- *which is zoned Single-Family 10 (SF-10) District* --, and The Preserve, Phase 2 Subdivision -- *which is zoned Planned Development District No. 41 (PD-41)*. Both of these subdivisions are zoned for single-family district land uses and combine for a total of 158 lots. Beyond this is a continuation of Planned Development District 11 (PD-11) and Planned Development District 41, which are single-family residential subdivisions identified as Hillcrest Shores, Phase 2 and The Preserve, Phase 1 Subdivisions. Both Planned Development District 11 (PD-11) and Planned Development District 41 (PD-41) have an underlying zoning of Single-Family 10 (SF-10) District.

South: Directly south, and adjacent to, the subject property is the Northshore, Phase 2A Subdivision and the Hairston Addition which are zoned Single-Family 10 (SF-10) District. Both of these subdivisions are zoned for single-family district land uses, and combine for a total of 45 lots. Beyond this is N. Lakeshore Drive, which is identified as a M4D (*i.e. major collector, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

East: Directly east of the subject property is a 3.036-acre tract of land identified as Tract 1 of the A. Hanna Survey, Abstract No. 98 and W. B. Bowles Survey, Abstract No. 12, and which contains a single-family home. East of, and adjacent to, this property is a 7.235-acre tract of land identified as Tract 2, W. B. Bowles Survey, Abstract No. 12, and which contains a single-family home. Beyond this are the Pinnacle, Phase 1 and Pinnacle, Phase 2 Subdivisions, which are zoned Single-Family 10 (SF-10) District.

West: Directly west of the subject property is N. Lakeshore Drive, which is identified as a M4D (*i.e. major collector, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this a continuation of the Northshore, Phase 2B Subdivision. This property is zoned Single-Family 10 (SF-10) District. Continuing west is the City of Dallas takeline, followed by Lake Ray Hubbard.

DENSITY AND DIMENSIONAL REQUIREMENTS

According to Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC), a *Church/House of Worship* is permitted by a *Specific Use Permit (SUP)* in a Single-Family 10 (SF-10) District. The submitted site plan, landscape plan, and photometric plan generally conform to the technical requirements contained within the Unified Development Code (UDC) for a property located within a Single-Family 10 (SF-10) District. The applicant has indicated that a subsequent site plan will be submitted addressing the proposed changes to the existing building and the building elevations for the proposed chapel.

TREESCAPE PLAN

The landscape plan provided by the applicant indicates that no protected trees are to be removed from the site; therefore, no treescape plan is required.

CONFORMANCE WITH THE CITY'S CODES

According to Table 5, *Parking Requirement Schedule*, of Article 06, *Parking and Loading*, of the Unified Development Code (UDC) the parking requirements for a *Church/House of Worship* is one (1) parking space per four (4) seats. In this case the applicant conforms to the parking requirements; however, the parking requirements shall be reevaluated when an amended site plan is submitted requesting approval for the future chapels indicated on the proposed site plan. According to *Ordinance No. 21-29 (SUP No. S-250)* the applicant is required to provide headlight screening for all parking areas and provide three (3) tiered screening to satisfy the residential adjacency standards set forth in the Unified Development Code (UDC). In this case the applicant's site plan shows conformance to these requirements.

VARIANCES AND EXCEPTIONS REQUESTED BY THE APPLICANT

Based on the information submitted by the applicant, staff has identified the following exception to the Unified Development Code (UDC) and Engineering Department's *Standards of Design and Construction Manual*:

- (1) Driveways/Drive Aisles. According to Section 2.15.2, *Multi-Family and Non-Residential*, of Chapter 2, *Streets*, of the Engineering Department's *Standards of Design and Construction Manual*, "...(s)teel reinforced concrete driveways providing access to multi-family or non-residential uses shall have a minimum width of twenty-four (24) feet ..." In addition, Section 03.02, *Paving Materials*, of Article 06, *Parking and Loading*, of the Unified Development Code (UDC) states that "(a)ll required parking and loading areas, public and private drives, and fire lands shall be constructed of concrete ..." In this case there is a variable width residential, gravel driveway located adjacent to the eastern property line. This driveway connects Sunset Hill Drive to the subject property, and uses an existing cross access easement on 1588 Sunset Hill to access the driveway. The applicant is requesting that this driveway remain and only be used as a private driveway that is gated. Staff should point out that the driveway also serves 1501 Sunset Hill Drive. The applicant has indicated that they have worked out an agreement with the adjacent property owners to asphalt the driveway in the future.

According to Section 9.01, *Exceptions to the General Standards*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), "(u)nless otherwise specified by the Unified Development Code (UDC), an applicant may request the Planning and Zoning Commission grant an exception to the provisions contained in the Unified

Development Code (UDC), where unique or extraordinary conditions exist or where strict adherence to the technical requirements of the Unified Development Code (UDC) would create an undue hardship. In cases where an exception or exceptions is/are being requested, the applicant shall provide compensatory measures that directly offset the requested exceptions.” In this case, as compensatory measures the applicant is proposing to incorporate a minimum of 10% stone on the future standalone chapel and install a prayer garden that will be open to the general public.

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

According to Chapter 1, *Land Use and Growth Management*, of the OURHometown Vision 2040 Comprehensive Plan, a Quasi-Public land uses shall be “...operated by a private non-profit educational, religious, recreational, charitable, or medical institution having the purpose primarily of serving the general public”. In this case the proposed *House of Worship (St. Benedict’s Anglican Church)*, meets the definition of a Quasi-Public land use; however, the subject property is currently designated for Low Density Residential land uses, which means that a change to the *Future Land Use Map* will be required to be brought forward to the Planning and Zoning Commission and City Council with the annual review of the OURHometown Vision 2040 Comprehensive Plan. This has been added to the *Conditions of Approval* section of this case memo.

ARCHITECTURAL REVIEW BOARD (ARB) RECOMMENDATION

The Architectural Review Board (ARB) is not required to review the site plan since there are no changes proposed to the existing buildings; however, when the applicant amends the site plan to account for changes to the existing buildings and/or the future chapel the Architectural Review Board (ARB) will be required to make a recommendation.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to approve the applicant’s Site Plan for the St. Benedict’s Anglican Church on the *subject property*, then staff would propose the following conditions of approval:

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of engineering plans.
- (2) The future stand alone chapel shall utilize a minimum of 10% stone on the façades.
- (3) A prayer garden shall be constructed on the subject property on approximately 0.3 acres, where the removed swimming pool was located.
- (4) The subject property will be required to be replatted prior to the issuance of a building permit.
- (5) The Future Land Use Map shall be required to be amended to show the subject as a Quasi-Public land use at the time of the annual review of the OURHometown Vision 2040 Comprehensive Plan.
- (6) Any construction resulting from the approval of this Site Plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. SP2021-025

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)¹
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST (\$100.00)

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 1500 Sunset Hill

SUBDIVISION _____ LOT _____ BLOCK _____

GENERAL LOCATION North of 5466 on Lakeshore Dr

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING SF-10 w/SUP CURRENT USE House of Worship

PROPOSED ZONING _____ PROPOSED USE House of Worship

ACREAGE 7.45 LOTS [CURRENT] _____ LOTS [PROPOSED] _____

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB316Z THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input checked="" type="checkbox"/> OWNER	<u>St. Benedict's Anglican Church</u>	<input checked="" type="checkbox"/> APPLICANT	<u>Douphrate, Assoc. Inc.</u>
CONTACT PERSON	<u>Michael Vinson</u>	CONTACT PERSON	<u>Dub Douphrate</u>
ADDRESS	<u>1500 Sunset Hill</u>	ADDRESS	<u>2235 Ridge Rd</u>
CITY, STATE & ZIP	<u>Rockwall, TX 75087</u>	CITY, STATE & ZIP	<u>Rockwall, TX 75087</u>
PHONE	<u>214,600,0779</u>	PHONE	<u>972,742,2210</u>
E-MAIL	<u>michael@stbenedictanglican.com</u>	E-MAIL	<u>wdouphrate@douphrate.com</u>

NOTARY VERIFICATION [REQUIRED]

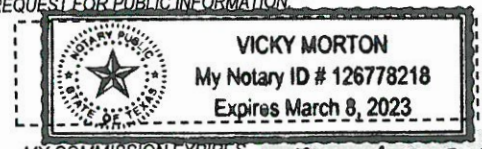
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED W.L. Douphrate II [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT, AND THE APPLICATION FEE OF \$ 295.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 10th DAY OF September, 2021 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

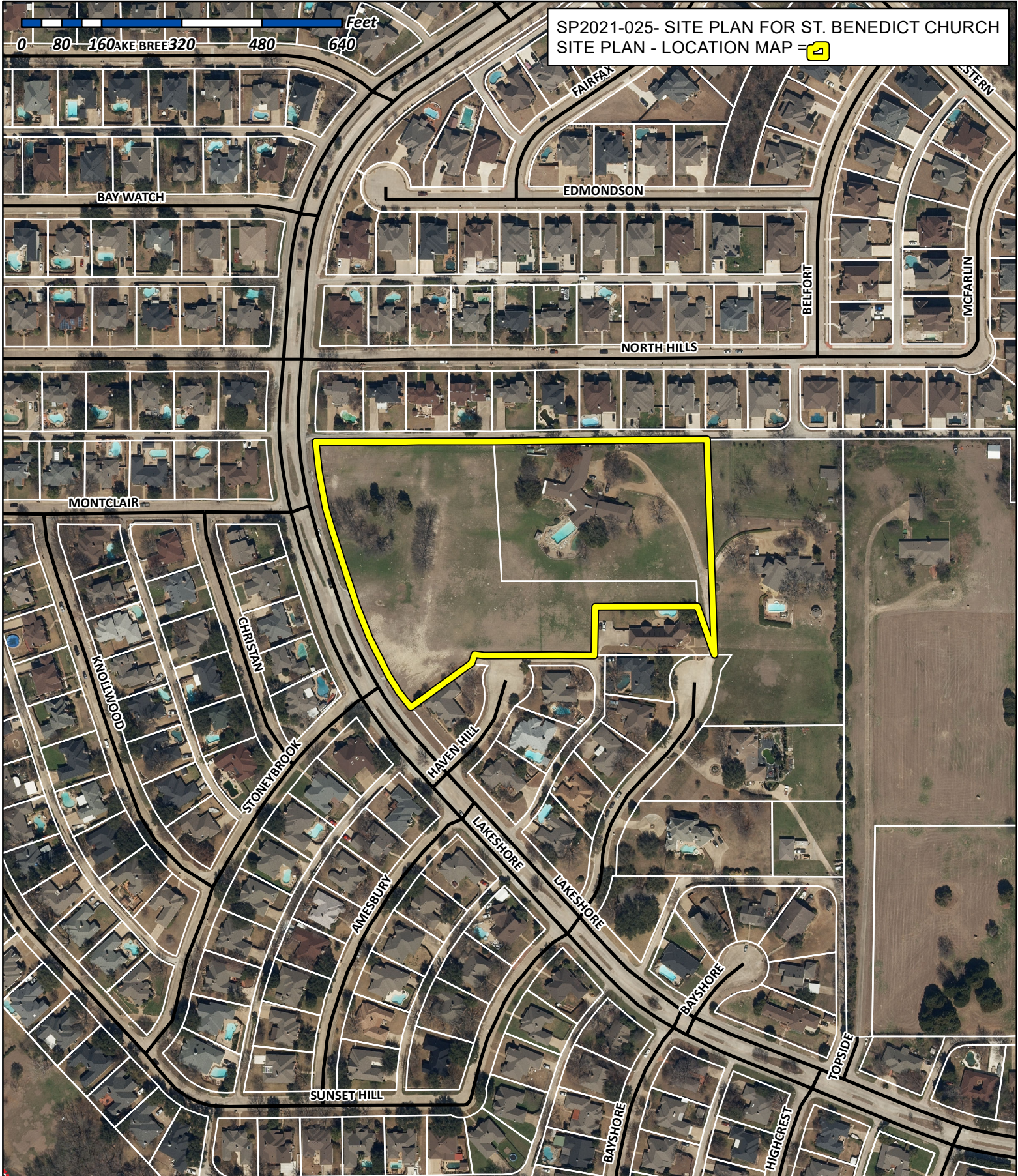
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 10th DAY OF September, 2021

OWNER'S SIGNATURE W.L. Douphrate II

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS Vicky Morton



MY COMMISSION EXPIRES March 8, 2023



SP2021-025- SITE PLAN FOR ST. BENEDICT CHURCH
 SITE PLAN - LOCATION MAP =

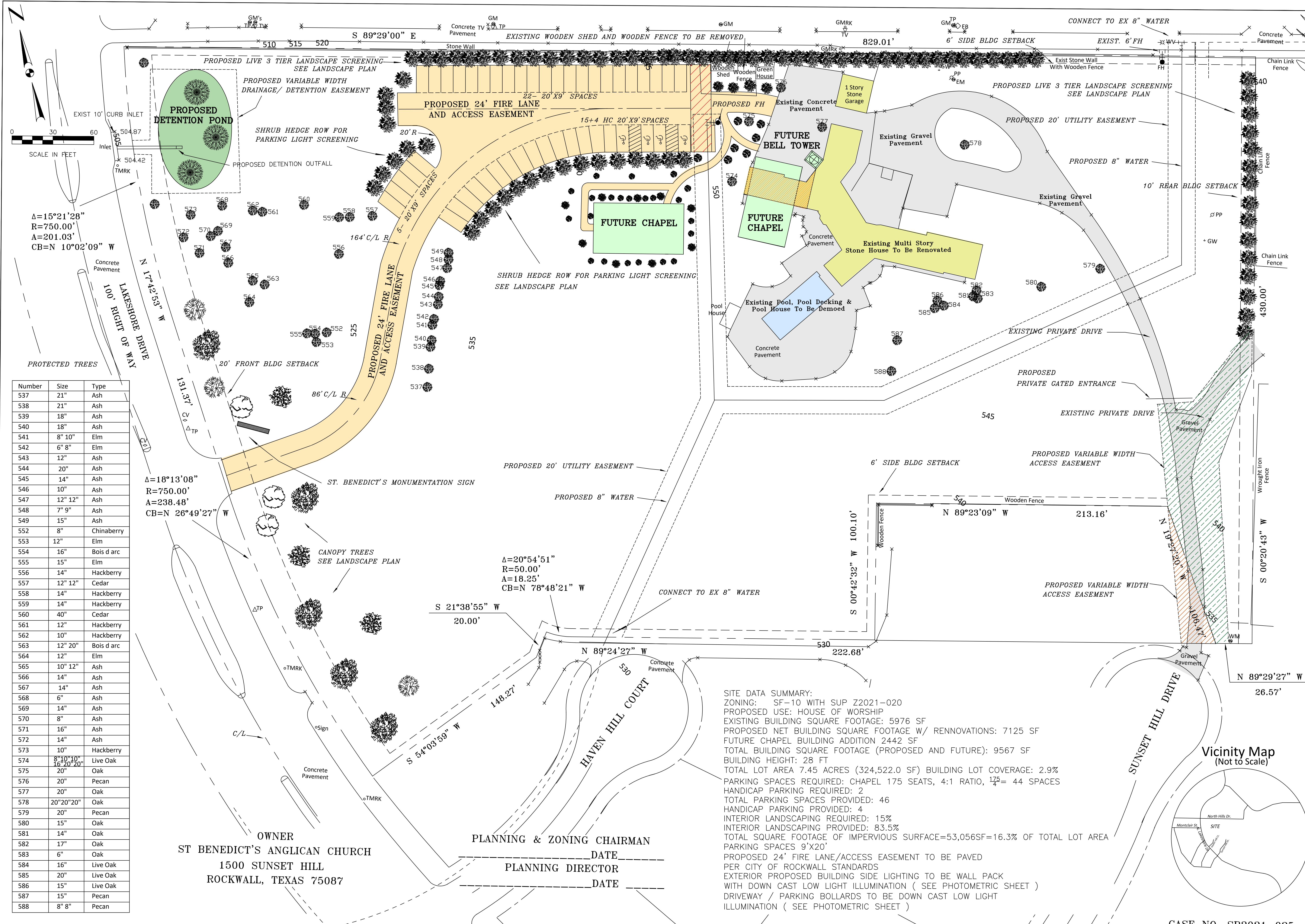


City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



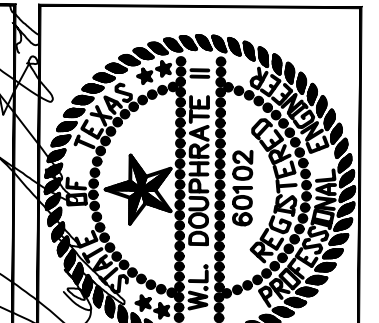
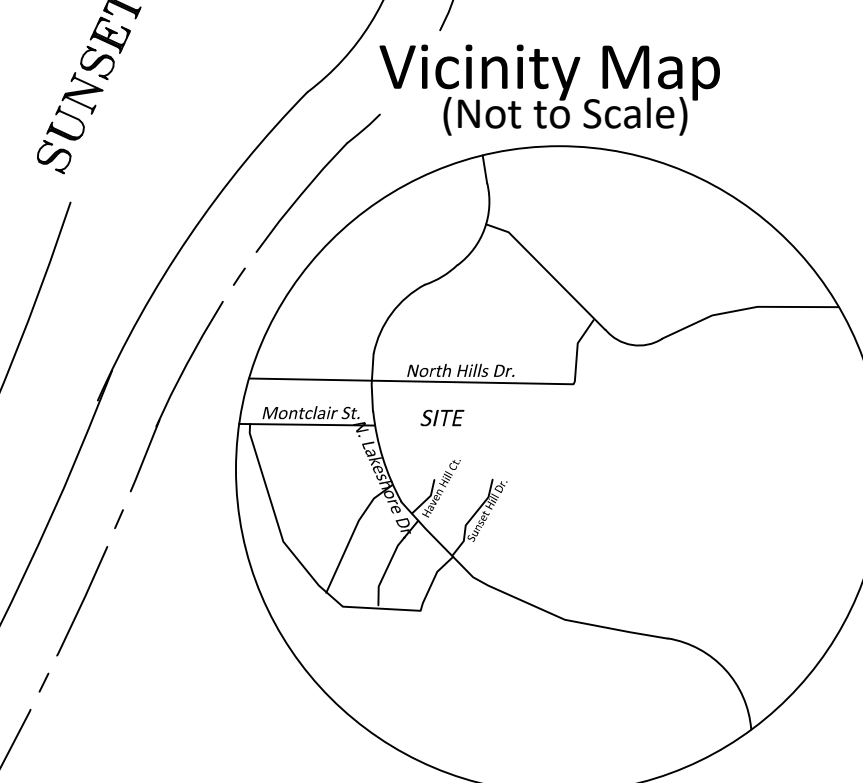


Number	Size	Type
537	21"	Ash
538	21"	Ash
539	18"	Ash
540	18"	Ash
541	8" 10"	Elm
542	6" 8"	Elm
543	12"	Ash
544	20"	Ash
545	14"	Ash
546	10"	Ash
547	12" 12"	Ash
548	7" 9"	Ash
549	15"	Ash
552	8"	Chinaberry
553	12"	Elm
554	16"	Bois d arc
555	15"	Elm
556	14"	Hackberry
557	12" 12"	Cedar
558	14"	Hackberry
559	14"	Hackberry
560	40"	Cedar
561	12"	Hackberry
562	10"	Hackberry
563	12" 20"	Bois d arc
564	12"	Elm
565	10" 12"	Ash
566	14"	Ash
567	14"	Ash
568	6"	Ash
569	14"	Ash
570	8"	Ash
571	16"	Ash
572	14"	Ash
573	10"	Hackberry
574	8" 10" 10", 16" 20" 20"	Live Oak
575	20"	Oak
576	20"	Pecan
577	20"	Oak
578	20" 20" 20"	Oak
579	20"	Pecan
580	15"	Oak
581	14"	Oak
582	17"	Oak
583	6"	Oak
584	16"	Live Oak
585	20"	Live Oak
586	15"	Live Oak
587	15"	Pecan
588	8" 8"	Pecan

OWNER
ST BENEDICT'S ANGLICAN CHURCH
 1500 SUNSET HILL
 ROCKWALL, TEXAS 75087

PLANNING & ZONING CHAIRMAN _____ DATE _____
 PLANNING DIRECTOR _____ DATE _____

SITE DATA SUMMARY:
 ZONING: SF-10 WITH SUP Z2021-020
 PROPOSED USE: HOUSE OF WORSHIP
 EXISTING BUILDING SQUARE FOOTAGE: 5976 SF
 PROPOSED NET BUILDING SQUARE FOOTAGE W/ RENOVATIONS: 7125 SF
 FUTURE CHAPEL BUILDING ADDITION 2442 SF
 TOTAL BUILDING SQUARE FOOTAGE (PROPOSED AND FUTURE): 9567 SF
 BUILDING HEIGHT: 28 FT
 TOTAL LOT AREA 7.45 ACRES (324,522.0 SF) BUILDING LOT COVERAGE: 2.9%
 PARKING SPACES REQUIRED: CHAPEL 175 SEATS, 4:1 RATIO, 175/4 = 44 SPACES
 HANDICAP PARKING REQUIRED: 2
 TOTAL PARKING SPACES PROVIDED: 46
 HANDICAP PARKING PROVIDED: 4
 INTERIOR LANDSCAPING REQUIRED: 15%
 INTERIOR LANDSCAPING PROVIDED: 83.5%
 TOTAL SQUARE FOOTAGE OF IMPERVIOUS SURFACE=53,056SF=16.3% OF TOTAL LOT AREA
 PARKING SPACES 9'X20'
 PROPOSED 24' FIRE LANE/ACCESS EASEMENT TO BE PAVED
 PER CITY OF ROCKWALL STANDARDS
 EXTERIOR PROPOSED BUILDING SIDE LIGHTING TO BE WALL PACK
 WITH DOWN CAST LOW LIGHT ILLUMINATION (SEE PHOTOMETRIC SHEET)
 DRIVEWAY / PARKING BOLLARDS TO BE DOWN CAST LOW LIGHT
 ILLUMINATION (SEE PHOTOMETRIC SHEET)

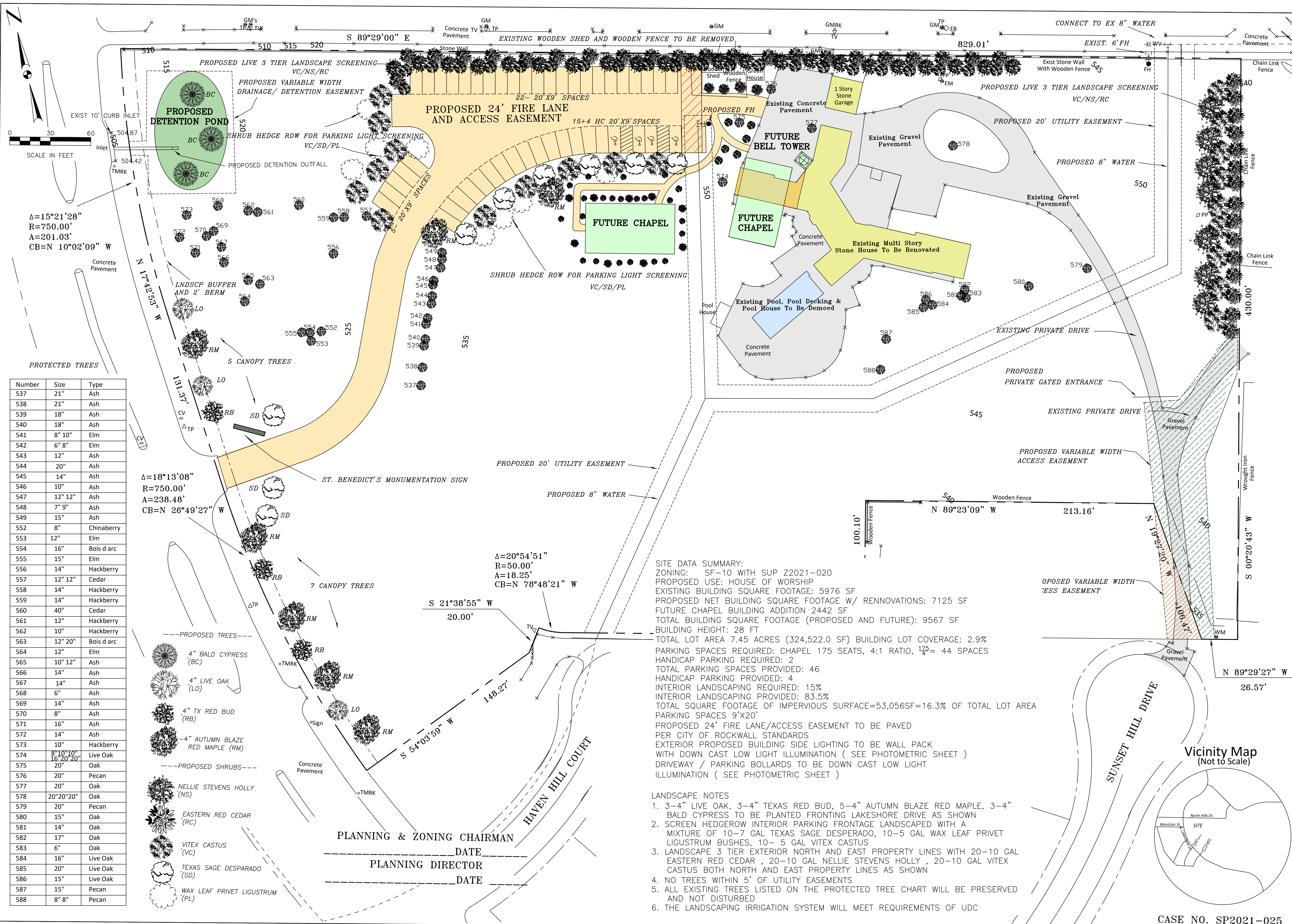


THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY W.L. DOUPHRADE, P.E. LICENSE NO. 60102, STATE OF TEXAS, ON DATE: APRIL 23, 2021.

DOUPHRADE & ASSOCIATES, INC.
 ENGINEERING PROJECT MANAGEMENT SURVEYING
 2235 RIDGE RD., # 200 ROCKWALL, TEXAS 75087
 PHONE: (972)771-9004 FAX: (972)771-9005

SITE PLAN
ST. BENEDICT'S ANGLICAN CHURCH PROPERTY
 1500 SUNSET HILL DR
 CITY OF ROCKWALL
 ROCKWALL COUNTY, TEXAS

REVISION	DATE
W.L.D.	
G.C.W.	
APRIL 23, 2021	
2007 SITE PL	
PROJECT	



$\Delta=15^{\circ}21'28''$
 $R=750.00'$
 $A=201.03'$
 $CB=N 10^{\circ}02'09'' W$

$\Delta=18^{\circ}13'08''$
 $R=750.00'$
 $A=238.48'$
 $CB=N 26^{\circ}49'27'' W$

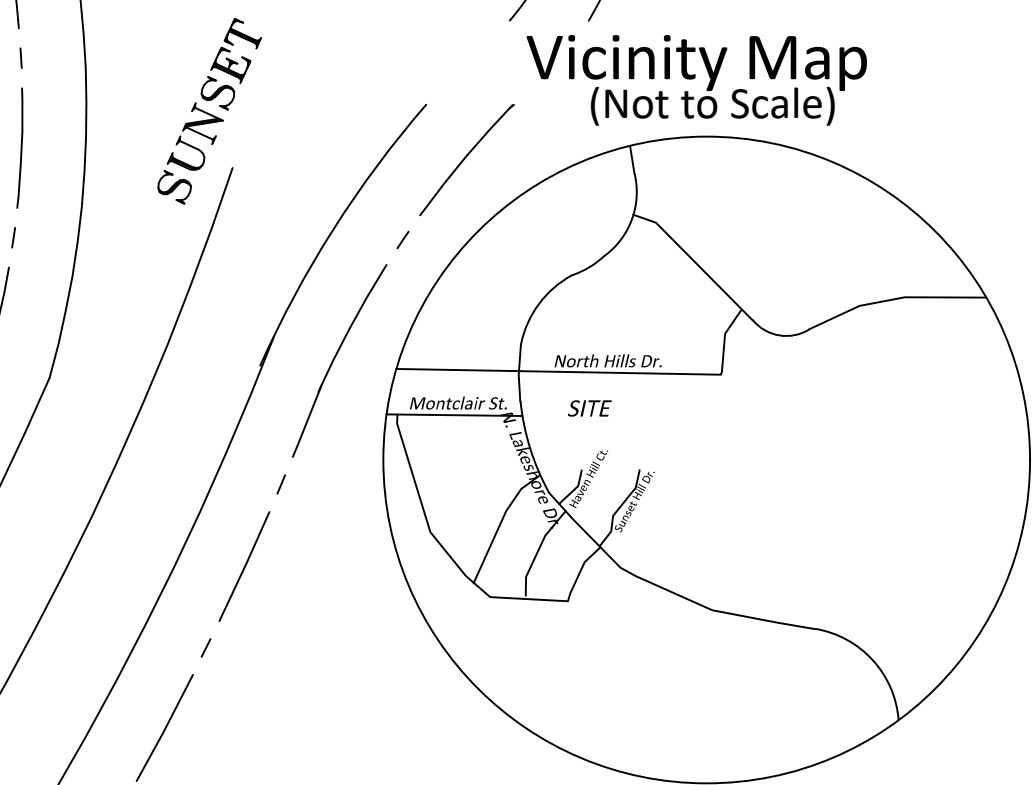
Number	Size	Type
537	21"	Ash
538	21"	Ash
539	18"	Ash
540	18"	Ash
541	8" 10"	Elm
542	6" 8"	Elm
543	12"	Ash
544	20"	Ash
545	14"	Ash
546	10"	Ash
547	12" 12"	Ash
548	7" 9"	Ash
549	15"	Ash
552	8"	Chinaberry
553	12"	Elm
554	16"	Bois d arc
555	15"	Elm
556	14"	Hackberry
557	12" 12"	Cedar
558	14"	Hackberry
559	14"	Hackberry
560	40"	Cedar
561	12"	Hackberry
562	10"	Hackberry
563	12" 20"	Bois d arc
564	12"	Elm
565	10" 12"	Ash
566	14"	Ash
567	14"	Ash
568	6"	Ash
569	14"	Ash
570	8"	Ash
571	16"	Ash
572	14"	Ash
573	10"	Hackberry
574	8" 10" 10" 16" 20" 20"	Live Oak
575	20"	Oak
576	20"	Pecan
577	20"	Oak
578	20" 20" 20"	Oak
579	20"	Pecan
580	15"	Oak
581	14"	Oak
582	17"	Oak
583	6"	Oak
584	16"	Live Oak
585	20"	Live Oak
586	15"	Live Oak
587	15"	Pecan
588	8" 8"	Pecan

- PROPOSED TREES---
- 4" BALD CYPRESS (BC)
 - 4" LIVE OAK (LO)
 - 4" TX RED BUD (RB)
 - 4" AUTUMN BLAZE RED MAPLE (RM)
- PROPOSED SHRUBS---
- NELLIE STEVENS HOLLY (NS)
 - EASTERN RED CEDAR (RC)
 - VITEX CASTUS (VC)
 - TEXAS SAGE DESPARADO (SD)
 - WAX LEAF PRIVET LIGUSTRUM (PL)

SITE DATA SUMMARY:
 ZONING: SF-10 WITH SUP Z2021-020
 PROPOSED USE: HOUSE OF WORSHIP
 EXISTING BUILDING SQUARE FOOTAGE: 5976 SF
 PROPOSED NET BUILDING SQUARE FOOTAGE W/ RENNOVATIONS: 7125 SF
 FUTURE CHAPEL BUILDING ADDITION 2442 SF
 TOTAL BUILDING SQUARE FOOTAGE (PROPOSED AND FUTURE): 9567 SF
 BUILDING HEIGHT: 28 FT
 TOTAL LOT AREA 7.45 ACRES (324,522.0 SF) BUILDING LOT COVERAGE: 2.9%
 PARKING SPACES REQUIRED: CHAPEL 175 SEATS, 4:1 RATIO, $\frac{175}{4} = 44$ SPACES
 HANDICAP PARKING REQUIRED: 2
 TOTAL PARKING SPACES PROVIDED: 46
 HANDICAP PARKING PROVIDED: 4
 INTERIOR LANDSCAPING REQUIRED: 15%
 INTERIOR LANDSCAPING PROVIDED: 83.5%
 TOTAL SQUARE FOOTAGE OF IMPERVIOUS SURFACE=53,056SF=16.3% OF TOTAL LOT AREA
 PARKING SPACES 9'X20'
 PROPOSED 24' FIRE LANE/ACCESS EASEMENT TO BE PAVED
 PER CITY OF ROCKWALL STANDARDS
 EXTERIOR PROPOSED BUILDING SIDE LIGHTING TO BE WALL PACK WITH DOWN CAST LOW LIGHT ILLUMINATION (SEE PHOTOMETRIC SHEET)
 DRIVEWAY / PARKING BOLLARDS TO BE DOWN CAST LOW LIGHT ILLUMINATION (SEE PHOTOMETRIC SHEET)

- LANDSCAPE NOTES
- 3-4" LIVE OAK, 3-4" TEXAS RED BUD, 5-4" AUTUMN BLAZE RED MAPLE, 3-4" BALD CYPRESS TO BE PLANTED FRONTING LAKESHORE DRIVE AS SHOWN
 - SCREEN HEDGEROW INTERIOR PARKING FRONTAGE LANDSCAPED WITH A MIXTURE OF 10-7 GAL TEXAS SAGE DESPARADO, 10-5 GAL WAX LEAF PRIVET LIGUSTRUM BUSHES, 10- 5 GAL VITEX CASTUS
 - LANDSCAPE 3 TIER EXTERIOR NORTH AND EAST PROPERTY LINES WITH 20-10 GAL EASTERN RED CEDAR , 20-10 GAL NELLIE STEVENS HOLLY , 20-10 GAL VITEX CASTUS BOTH NORTH AND EAST PROPERTY LINES AS SHOWN
 - NO TREES WITHIN 5' OF UTILITY EASEMENTS
 - ALL EXISTING TREES LISTED ON THE PROTECTED TREE CHART WILL BE PRESERVED AND NOT DISTURBED
 - THE LANDSCAPING IRRIGATION SYSTEM WILL MEET REQUIREMENTS OF UDC

PLANNING & ZONING CHAIRMAN _____ DATE _____
 PLANNING DIRECTOR _____ DATE _____



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY THE BOARD OF PROFESSIONAL ENGINEERS IN TEXAS P.E. NO. 60022 F-1584 DATE: APRIL 23, 2021.

DOUPHRATE & ASSOCIATES, INC.
 ENGINEERING PROJECT MANAGEMENT SURVEYING
 2235 RIDGE RD., # 200 ROCKWALL, TEXAS 75087
 PHONE: (972)771-9004 FAX: (972)771-9005

LANDSCAPING PLAN
ST. BENEDICT'S ANGLICAN CHURCH PROPERTY
 CITY OF ROCKWALL
 ROCKWALL COUNTY, TEXAS

REVISION	W.L.D.
CHECKED	G.C.W.
DRAWN	
SCALE	1"=30' H 1"=150' V
DATE	APRIL 23, 2021
PROJECT	21007 SITE PL
	20

CASE NO. SP2021-025

October 7, 2021

To: Henry Lee

From: Dub Douphrate

Re: St. Benedict's Anglican Church Site Plan Compensatory Proposal

St. Benedict's and Dr Coble are currently in agreement to share the cost to improve the cross-access 10' driveway with an asphalt overlay. In addition to this improvement, a cross-access easement will be granted to Dr Coble and wife when the church property is platted. It is our understanding, based on the city staff comments provided, this proposed driveway improvement is requested to be upgraded to a 24' wide reinforced concrete paving standard.

As part of the site plan review process, St. Benedict's has requested a waiver to the concrete paving standard.

In exchange for this waiver to be approved by the city, it is the church's understanding, two compensatory measures of improvement will be required to waive the concrete paving standard.

The board members of St. Benedict's propose the following compensatory measures of improvement for staff consideration:

1. The future standalone chapel (which will soon be forthcoming with elevations) will have a minimum of 10% stone as part of the exterior façade.
2. A prayer garden will be constructed on the church grounds encompassing approximately .3 acres of land and will be constructed where the recently removed swimming pool was located. This prayer garden will be named the Mary Ellen Hall Prayer Garden. The cost to construct the prayer garden has been projected to cost in excess of \$50,000. This prayer garden will be open to the general public.

The church body appreciates the opportunity to work through these matters of importance in a positive manner with the city's staff, planning & zoning commission, and city council. We hope these proposed improvements outlined above will be received favorably as St. Benedict's strives with great effort to be a good neighbor to the adjacent homeowners and within the entire neighborhood community of Sunset Hill in developing a beautiful church campus for all to enjoy.

Please let me know if you have any questions regarding this matter.

Sincerely,

W.L. Douphrate II

W.L. Douphrate II, P.E.



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: October 12, 2021
APPLICANT: Steven Reyes; *Architectonics Texas, LLC*
CASE NUMBER: SP2021-026; *Site Plan for Medical Office*

SUMMARY

Discuss and consider a request by Steven Reyes of Architectonics Texas, LLC on behalf of Dr. Stan Tolkachjov for the approval of a Site Plan for a Medical Office building on a 0.688-acre parcel of land identified as Lot 1, Block D, La Jolla Pointe Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, addressed as 505 Ridge Road [FM-740], and take any action necessary.

BACKGROUND

The subject property was annexed by the City Council on November 7, 1960 by *Ordinance No. 60-04*. Based on the City's historic zoning maps the subject property has been zoned Commercial (C) District since before January 3, 1972. On March 28, 2003, the City Council approved a final plat establishing the subject property as Lot 1, Block D, La Jolla Pointe Addition. Since the time of annexation, the subject property has remained vacant.

PURPOSE

On September 17, 2021, the applicant -- *Steven Reyes of Architectonics Texas, LLC* -- submitted an application requesting the approval of a site plan for the purpose of constructing a medical office building on the subject property.

ADJACENT LAND USES AND ACCESS

The subject property is located at 505 Ridge Road [FM-740]. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is a medical office building situated on a 2.427-acre parcel of land zoned Commercial (C) District. Beyond this is an office building situated on a 9.699-acre tract of land zoned Commercial (C) District. Beyond this is Turtle Cove Boulevard, which is indicated as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

South: Directly south of the subject property is the intersection of La Jolla Pointe Drive and Ridge Road [FM-740]. La Jolla Pointe Drive is identified as a *Minor Collector* and Ridge Road [FM-740] is identified as a M4D (*i.e. major collector, four (4) lane, divided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are several developed parcels of land zoned Commercial (C) District.

East: Directly east of the subject property is Ridge Road [FM-740], which is identified as an M4D (*i.e. major collector, four [4] lane, divided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this thoroughfare are two (2) restaurants with drive-through/drive-in windows (*i.e. Wendy's and Popeye's*) situated on two (2) parcels of land zoned Commercial (C) District. Beyond this is Vigor Way, which is indicated as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

West: Directly west of the subject property is La Jolla Pointe Drive, which is identified as a *Minor Collector* in the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a vacant 6.126-acre parcel of land zoned Commercial (C) District.

DENSITY AND DIMENSIONAL REQUIREMENTS

According to Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC), an *Office Building* is permitted by right in a Commercial (C) District. The submitted site plan, landscape plan, photometric plan, and building elevations generally conform to the technical requirements contained within the Unified Development Code (UDC) for a property located within a Commercial (C) District. A summary of the density and dimensional requirements for the subject property are as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Lot Area</i>	10,000 SF	X=0.688-acres; In Conformance
<i>Minimum Lot frontage</i>	60-Feet	X= 126.66-feet; In Conformance
<i>Minimum Lot Depth</i>	100-Feet	X=272.28-feet; In Conformance
<i>Minimum Front Yard Setback</i>	15-Feet	x>15-feet; In Conformance
<i>Minimum Rear Yard Setback</i>	10-Feet	x>10-feet; In Conformance
<i>Minimum Side Yard Setback</i>	10-Feet	x=10-feet; In Conformance
<i>Maximum Building Height</i>	60-Feet	X<60-feet; In Conformance
<i>Max Building/Lot Coverage</i>	60%	X=19%; In Conformance
<i>Minimum Number of Parking Spaces</i>	1 Parking Space/200 SF (29 Required)	x=27; Non-Conformance
<i>Minimum Landscaping Percentage</i>	20%	In Conformance
<i>Maximum Impervious Coverage</i>	85-90%	x<90%; In Conformance

TREESCAPE PLAN

The landscape plan provided by the applicant indicates that the total mitigation balance is 30 caliper inches, which will be mitigated for inch-for-inch by trees being planted on the subject property.

CONFORMANCE WITH THE CITY’S CODES

According to Subsection 02.02(D)(2), *Office Building*, of Article 13, *Definitions*, of the Unified Development Code (UDC) defines office buildings as “(a) facility that provides executive, management, administrative, or professional services... (t)ypical examples include real estate, insurance, property management, investment, employment, travel, advertising, law, architecture, design, engineering, accounting, call centers, and similar offices.” In this case the applicant is requesting a *Medical Office*, which conforms to the *Office Building* land use listed in Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

The proposed site plan generally conforms to the standards of the General Overlay District Standards and the General Commercial District Standards as stipulated by Article 05, *District Development Standards*, of the Unified Development Code (UDC), with the exception of the variances being requested as outlined in the *Variances and Exceptions Requested by the Applicant* section of this case memo.

VARIANCES AND EXCEPTIONS BY THE APPLICANT

As stated above, the applicant’s request conforms to the majority of the City’s codes; however, staff has identified the following exceptions:

- (1) Articulation. According to Subsection 04.01(C), *Building Articulation*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), “(a) primary building façade is any building façade that has a primary entryway for a business or that has an adjacency to a public right-of-way, open space/green space, public/private park, and/or a residential zoning district or residentially used property.” In addition, this section requires that wall projections on a primary façade must be a minimum of 25% of the wall height. In this case, the applicant is proposing wall projections on the east and west elevations that are less than the required 25%.

- (2) Driveway Spacing. According to Figure 2.2, *Median Design Standards*, of Section 2.5, *Median Opening, Widths, Location, and Spacing*, of Article 2, Streets, of the Engineering Department's *Standards of Design and Construction Manual*, the minimum required driveway spacing on La Jolla Pointe is 200-feet from Ridge Road [FM-740] and 100-feet between driveways. In this case, the applicant is proposing the first driveway to be less than 200-feet from Ridge Road [FM-740] and the second driveway to be less than 100-feet from the first driveway. Based on the proposed design the applicant is requesting a variance to the requirements of the *Standards of Design and Construction Manual*.
- (3) Parking. According to Table 5, *Parking Requirement Schedule*, of Article 06, *Parking and Loading*, of the Unified Development Code (UDC), states that a *Medical Office* required one (1) space per 200 SF. In this case the applicant is required 29 parking spaces (*i.e.* 5,835 SF / 200 SF = 29 parking spaces). The applicant is providing 27 parking spaces and two (2) private parking space in a garage, however the private parking spaces do not count towards the parking total. Therefore, the proposed site plan is deficient two (2) parking spaces.

According to Subsection 09.01, *Exceptions to the General Standards*, of Article 11, Development Applications and Review Procedures, of the Unified Development Code (UDC), "...an applicant may request the Planning and Zoning Commission grant an exception to the provisions contained in the Unified Development Code (UDC), where unique or extraordinary conditions exist or where strict adherence to the technical requirements of the Unified Development Code would create an undue hardship." In addition, the code requires that applicant's provide compensatory measures that directly offset the requested exception. In this case, as compensatory measures the applicant is proposing to utilize 100% masonry materials on the building, incorporating greater than 20% natural stone (20% is required in the City's overlay districts), and providing additional landscaping within the landscape buffer. With this being said, requests for exceptions to the general standards are discretionary decisions for the Planning and Zoning Commission. Staff should note that a supermajority vote (*e.g.* six [6] out of the seven [7] commissioners) -- with a minimum of four (4) votes in the affirmative -- is required for the approval of an exception.

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

The Future Land Use Plan adopted with the OURHometown Vision 2040 Comprehensive Plan identifies the subject property as being situated in the South Lakeshore District. The South Lakeshore District is an established district that is significantly developed with medium-density, suburban housing and many of the subdivisions are not anticipated to change. As a result, the majority of commercial development in the area is anticipated to consist of neighborhood/convenience centers that are compatible in scale with the adjacent residential properties. Strategy #2 in the South Lakeshore District states that "commercial in this district is intended to support the existing residential subdivisions and should be compatible in scale with the adjacent residential structures. These areas may also contain office uses that are compatible with regard to traffic and intensity as the Neighborhood/Convenience Centers." In this case, the applicant's proposal appears to conform with the goals and policies of the Comprehensive Plan.

ARCHITECTURAL REVIEW BOARD (ARB) RECOMMENDATION

The Architectural Review Board (ARB) reviewed the building elevations provided by the applicant on September 28, 2021, and approved a motion to recommend approval of the building elevations by a vote of 6-0, with Board Member Phillips absent.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to approve the applicant's Site Plan for the Medical Office on the *subject property*, then staff would propose the following conditions of approval:

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of engineering plans.
- (2) The subject property will be required to be replatted prior to the issuance of a building permit.
- (3) Any construction resulting from the approval of this Site Plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city

adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. SP2021-020

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)¹
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST (\$100.00)

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 2510 Ridge Rd.

SUBDIVISION La Jolla Pointe Addition

LOT 1 BLOCK D

GENERAL LOCATION NW corner of La Jolla and Ridge Rd.

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING Commercial

CURRENT USE Undeveloped

PROPOSED ZONING Commercial

PROPOSED USE Medical

ACREAGE .68

LOTS [CURRENT]

LOTS [PROPOSED]

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167, THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER

APPLICANT

Architectonics Texas, LLC

CONTACT PERSON Dr. Stan Tolkachjov

CONTACT PERSON Steven Reyes

ADDRESS 4024 Marble Hill Rd.

ADDRESS 2235 Ridge Rd.

CITY, STATE & ZIP Frisco, TX 75034

CITY, STATE & ZIP Rockwall, Texas 75087

PHONE 9014122767

PHONE 9723451684

E-MAIL stan.tolkachjov@epiphanydermatology.com

E-MAIL steven.reyes583@gmail.com

NOTARY VERIFICATION [REQUIRED]

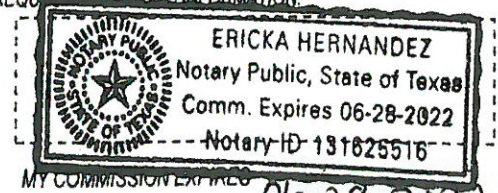
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Stan Tolkachjov [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT AND THE APPLICATION FEE OF \$ 210 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 17th DAY OF September, 2021. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."


GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 17 DAY OF September, 2021

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





SP2021-026- SITE PLAN FOR MEDICAL OFFICE
AT 2510 RIDGE ROAD
SITE PLAN - LOCATION MAP = 



City of Rockwall

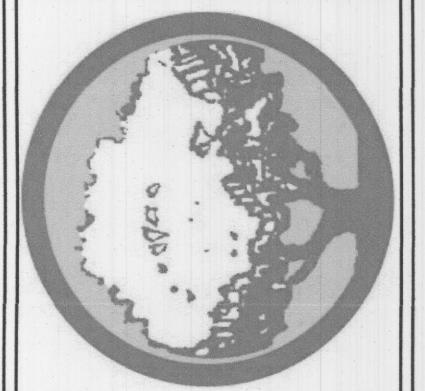
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





ARCHITECTONICS TEXAS, LLC
 ARCHITECTURE - MANAGEMENT
 2235 RIDGE RD. STE. 200
 ROCKWALL, TEXAS 75087



NO.	REVISIONS DESCRIPTION/ISSUE	DATE

PROJECT NAME AND ADDRESS:
**DR. TOLKACHJOV
 MEDICAL BUILDING
 LOT 1 BLOCK D
 LA JOLLA POINTE ADDITION**

PROJECT No.	
DRAWN BY	Author
CHECKED BY	Checker
DATE	04/28/2021
SCALE	3/16" = 1'-0"
SHEET NO.	of

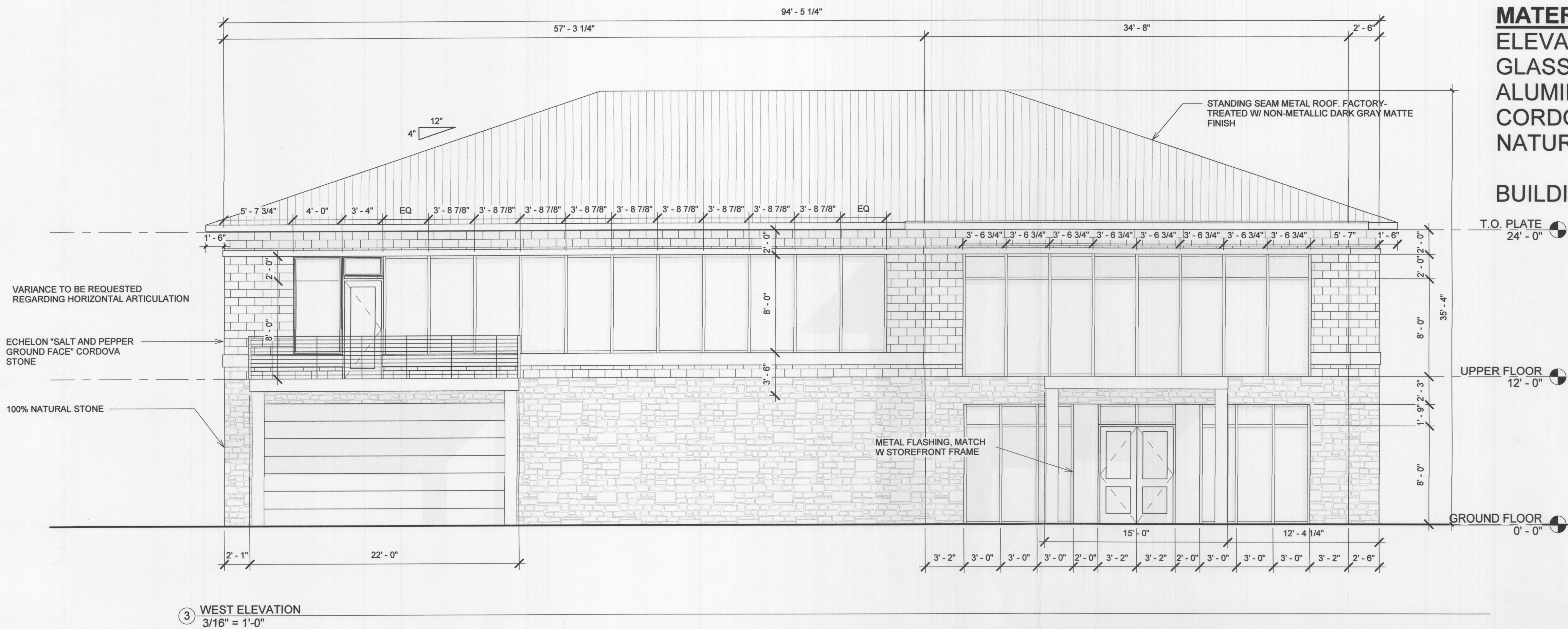
DRAWING NAME:
**ELEVATIONS -
 S & W**

A2.1

MATERIAL USAGE (%)

ELEVATION AREA:	2268.25 SF	
GLASS WINDOWS:	1112.58 SF	48%
ALUMINUM FLASHING:	40 SF	2%
CORDOVA STONE:	465.67 SF	20%
NATURAL STONE:	650 SF	30%

BUILDING HEIGHT: 35'-4"



③ WEST ELEVATION
 3/16" = 1'-0"

MATERIAL USAGE (%)

ELEVATION AREA:	1429.19 SF	
GLASS WINDOWS:	169.9 SF	11.9%
CORDOVA STONE:	678.19 SF	47.4%
NATURAL STONE:	582 SF	59.7%

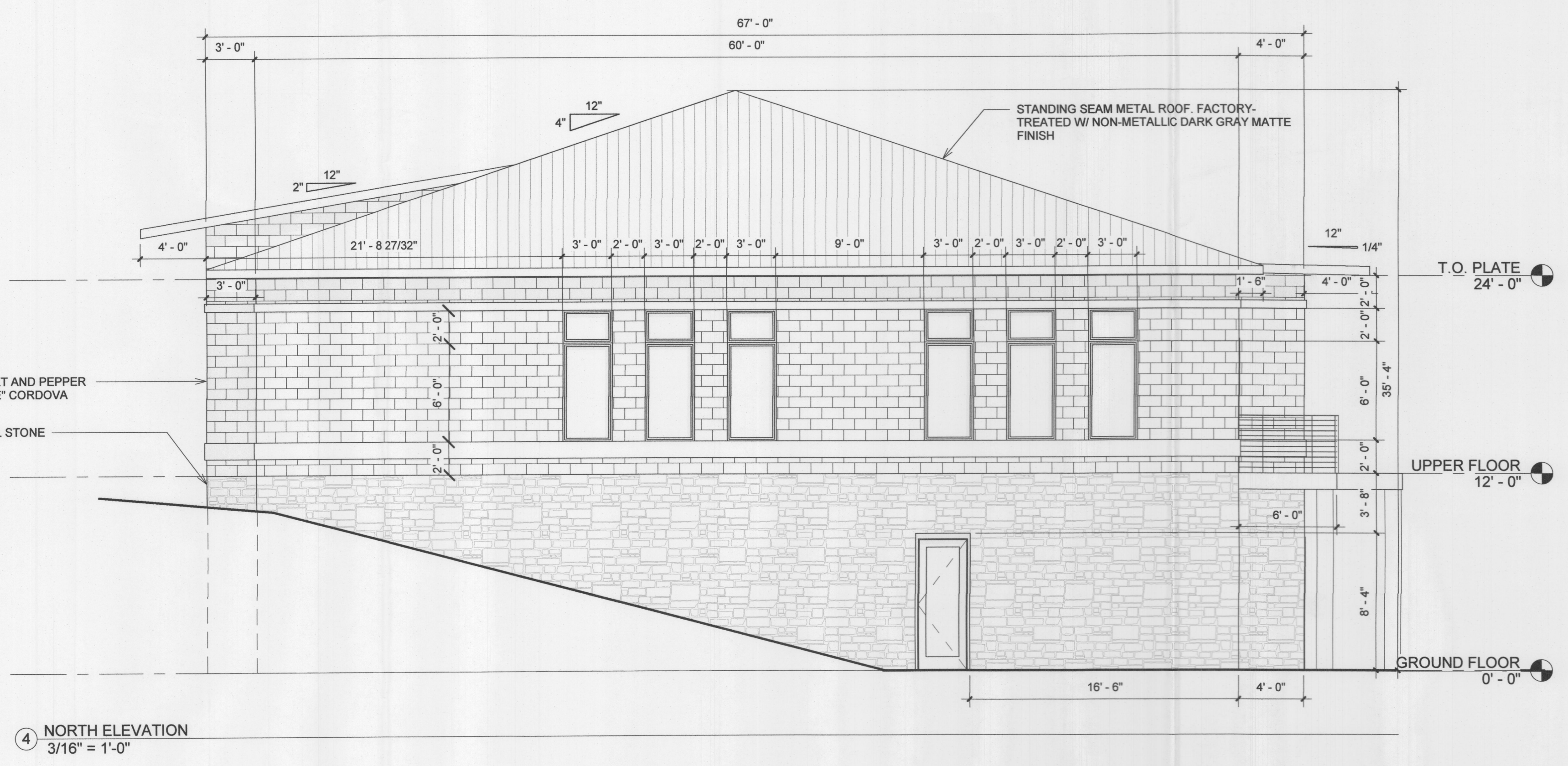
APPROVED:

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ___ DAY OF ___

WITNESS OUR HANDS, THIS DAY OF _____

PLANNING AND ZONING COMMISSION

DIRECTOR OF PLANNING AND ZONING



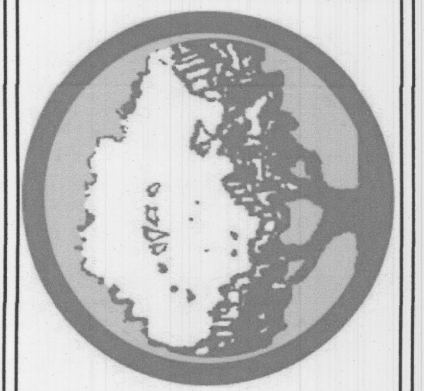
④ NORTH ELEVATION
 3/16" = 1'-0"

OWNER:
 DR. STAN TOLKACHJOV
 (901)412-2767
 4024 MARBLE HILL RD.
 FRISCO, TEXAS 75034

ARCHITECT/PLANNER:
 ARCHITECTONICS TEXAS, LLC
 ROSS RAMSAY
 (469)974-8889
 2235 RIDGE RD. STE 201
 ROCKWALL, TEXAS 75087



ARCHITECTONICS TEXAS, LLC
 ARCHITECTURE - MANAGEMENT
 2235 RIDGE RD. STE. 200
 ROCKWALL, TEXAS 75087



NO.	REVISIONS DESCRIPTION/ISSUE	DATE

PROJECT NAME AND ADDRESS:
**DR. TOLKACHJOV
 MEDICAL BUILDING
 LOT 1 BLOCK D
 LA JOLLA POINTE ADDITION**

PROJECT No.	
DRAWN BY	Author
CHECKED BY	Checker
DATE	04/28/2021
SCALE	3/16" = 1'-0"
SHEET NO.	of

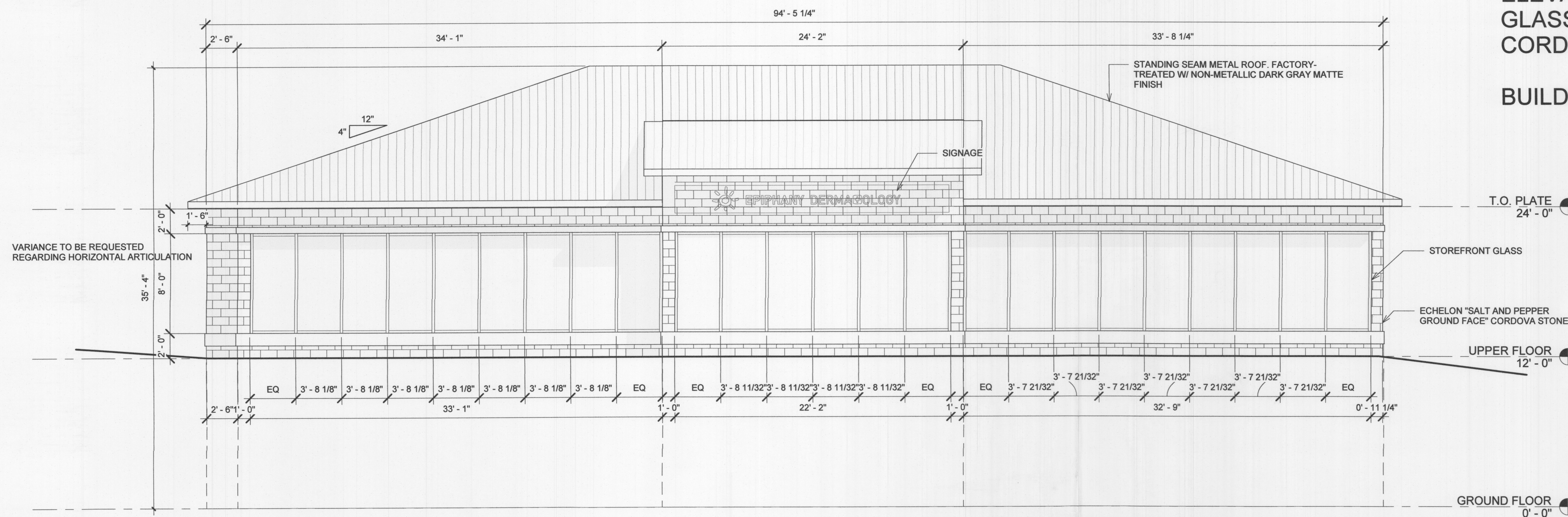
DRAWING NAME:
**ELEVATIONS -
 N & E**

A2.0

MATERIAL USAGE (%)

ELEVATION AREA: 1147.12 SF
 GLASS WINDOWS: 702.67 SF 61.3%
 CORDOVA STONE: 444.45 SF 38.7%

BUILDING HEIGHT: 35'-4"

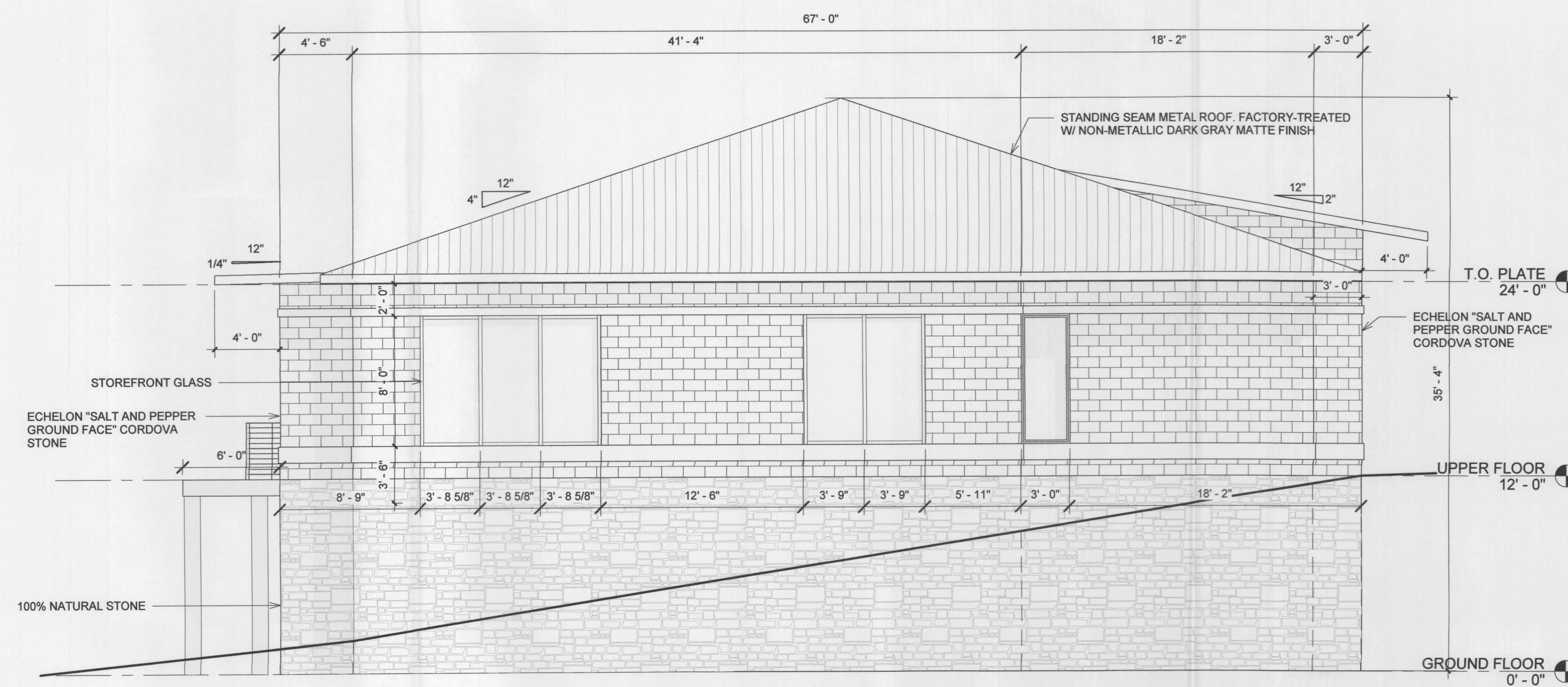


③ EAST ELEVATION
 3/16" = 1'-0"

MATERIAL USAGE (%)

ELEVATION AREA: 1169.32 SF
 GLASS WINDOWS: 171.95 SF 14.8%
 CORDOVA STONE: 415.37 SF 50%
 NATURAL STONE: 582 SF 35.2%

BUILDING HEIGHT: 35'-4"



④ SOUTH ELEVATION
 3/16" = 1'-0"

APPROVED:
 I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A
 DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY
 THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL
 ON THE _____ DAY OF _____

WITNESS OUR HANDS, THIS _____ DAY OF _____

PLANNING AND ZONING COMMISSION

DIRECTOR OF PLANNING AND ZONING

OWNER:
 DR. STAN TOLKACHJOV
 (901)412-2767
 4024 MARBLE HILL RD.
 FRISCO, TEXAS 75034

ARCHITECT/PLANNER:
 ARCHITECTONICS TEXAS, LLC
 ROSS RAMSAY
 (469)974-8889
 2235 RIDGE RD. STE 201
 ROCKWALL, TEXAS 75087

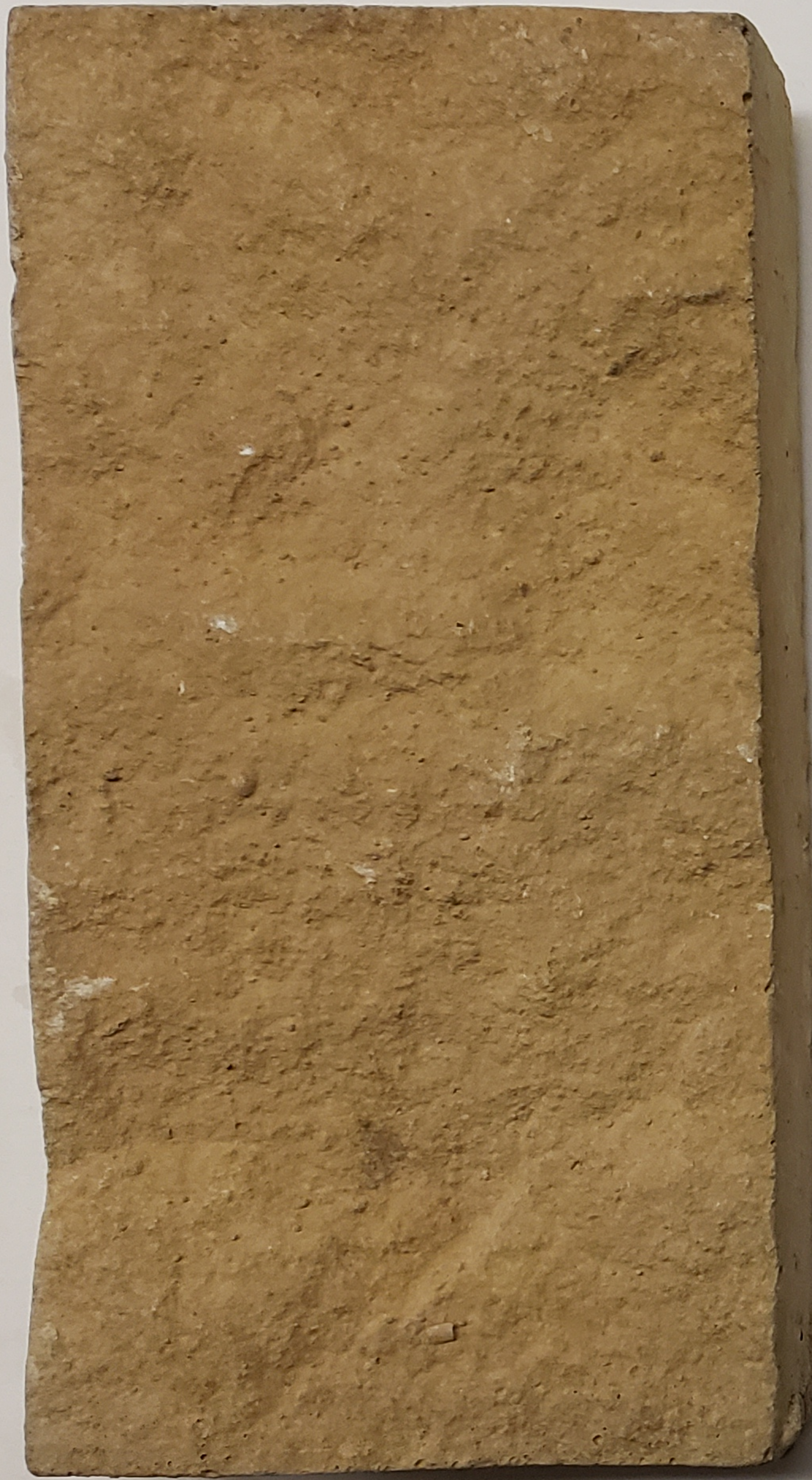


VIEW FROM PARKING LOT, WESTERN FACADE



VIEW VISIBLE FROM RIDGE RD, EASTERN FACADE

505 LA JOLLA POINTE DR.
ROCKWALL, TEXAS 75087



Base

Natural Stone



Upper

Cultured Stone



Metal Roof

Dark Bronze

REQUIRED TREES (frontage)

A. STREET TREES
 1 TREE FOR EVERY 50 L.F. OF FRONTAGE
 FRONTAGE LENGTH : 476.91' / 50' = 9.5
 9 TREES REQUIRED
 (4) TREES EXISTING - 10"/6"/6" HACKBERRY, 10" ELM, (2) 8" ELM

TREE DESIGNATION KEY

SYMBOL	DESCRIPTION	MITIGATION RATIO
P	PROTECTED	(1:1)
NP	NON-PROTECTED	(.5:1)

CIRCLED TREES TO BE REMOVED AND REPLACED

MITIGATION CALCULATION*

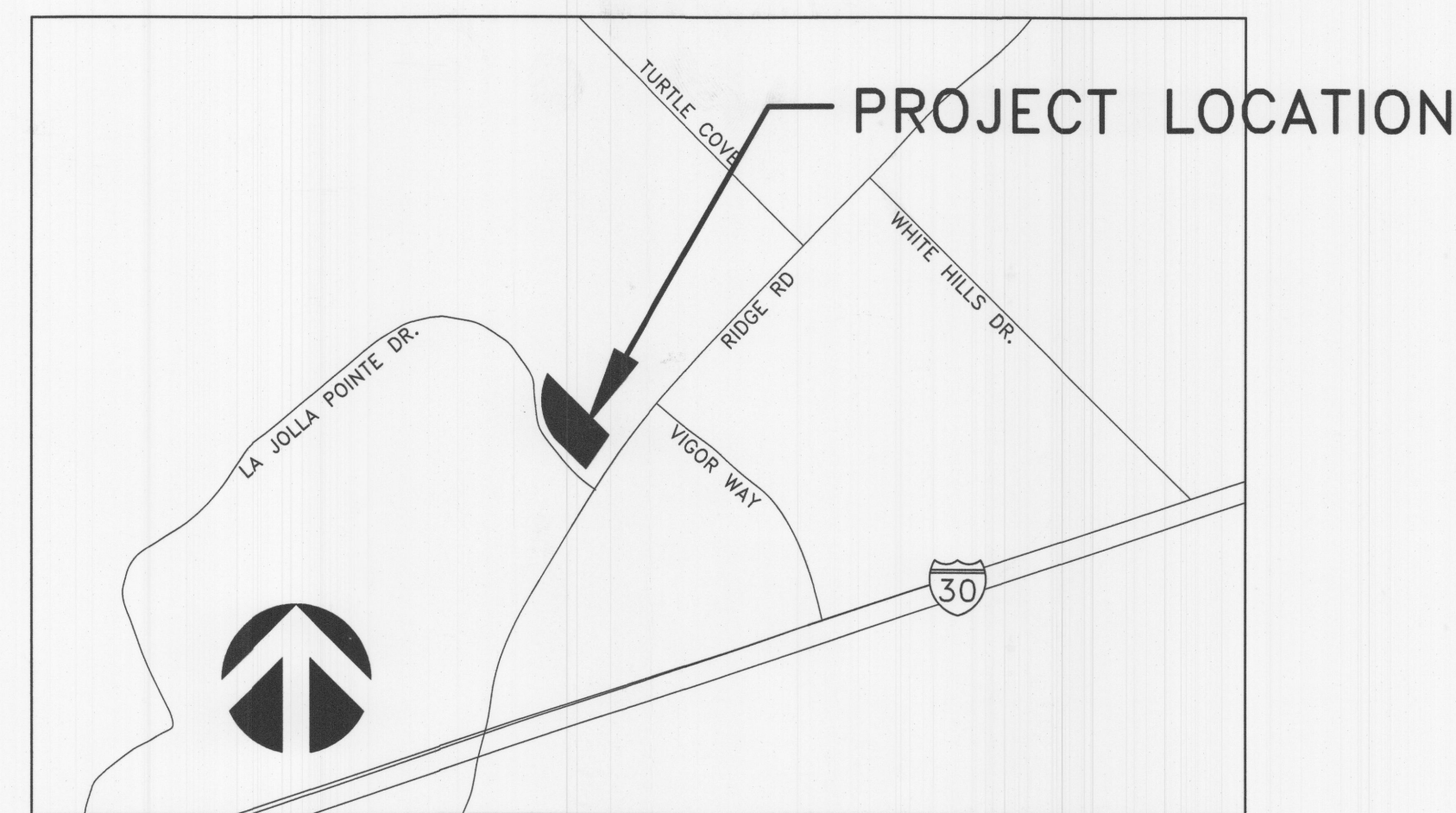
PROTECTED TREES :	20" X 1	= 20"
NON-PROTECTED TREES	20" X .5	= 10"
TREE REPLACEMENT (*)		= 30"

TOTAL TREE REPLACEMENT = 30"

NOTE: IRRIGATION DESIGN TO MEET REQUIREMENTS OF UNIFIED DEVELOPMENT CODE

*APPLIES TO TREES CIRCLED ON PLAN

NOTE: NO TREES TO BE PLANTED WITHIN 5'-0" OF ANY PUBLIC WATER OR SEWER UTILITY.



VICINITY MAP

PLANT SCHEDULE

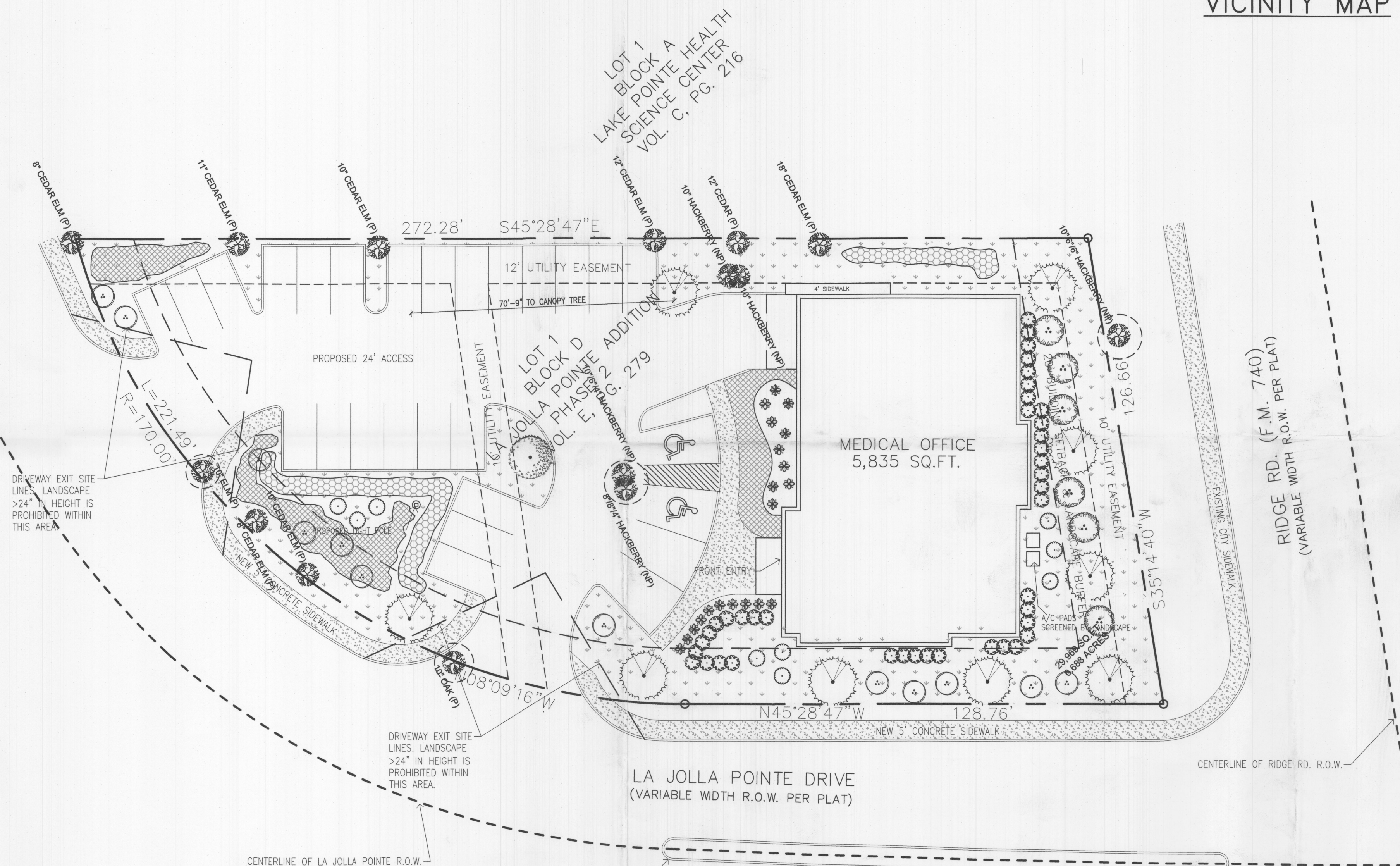
	QTY. -	SIZE -	TYPE Annuals	SPACING 6"-12"
	QTY. 9	SIZE #5	TYPE Zenizo (<i>Leucophyllum frutescens</i> compata)	SPACING > 30"
	QTY. 40	SIZE #5	TYPE St. Johnswort (<i>Hypericum</i>)	SPACING > 24"
	QTY. -	SIZE #5	TYPE Dwarf Burford (<i>Ilex cornuta 'Burfordi' nana</i>)	SPACING > 30"

TREE SCHEDULE

	QTY. 9	SIZE 4.0 inches	TYPE RED OAK (<i>Quercus falcata</i>)	SPACING > 15'-0"
	QTY. 1	SIZE 4.0 inches	TYPE Sweet Gum (<i>Liquidambar styraciflua</i>)	SPACING -
	QTY. 6	SIZE 4.0 inches	TYPE Chaste Tree (<i>Vitex Agnus-castus</i>)	SPACING -
	QTY. 12	SIZE 4.0 inches	TYPE Crape Myrtle (<i>Lagerstroemia indica</i>)	SPACING -
	EXISTING TO REMAIN			
	TO BE REMOVED / MITIGATED			

GROUND COVER

	BERMUDA GRASS (<i>Cynodon dactylon</i>)
	ASIAN JASMINE (<i>Trachelospermum asiaticum</i>)



SITE SUMMARY - COMMERCIAL ZONING

DESCRIPTION		LOT PERCENTAGE
LOT	29,969 SF	100 %
IMPERVIOUS	17,152 SF	57%
MEDICAL BUILDING	5,835 SF	19%
PAVEMENT AREA	11,317 SF	38%
PERVIOUS	12,168 SF	41%
SIDEWALK AREA	649 SF	2%
MAX. BUILDING HEIGHT PROPOSED	35'-8"	
PARKING REQUIREMENTS		
MEDICAL OFFICE (1:200 S.F.)	5,835 SF	
PARKING PROVIDED	27	
PARKING REQ'D	29	
ADDITIONAL PARKING (Garage)	2	

APPROVED:
 I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ___ DAY OF ___.
 WITNESS OUR HANDS, THIS ___ DAY OF ___, ___.

PLANNING AND ZONING COMMISSION DIRECTOR OF PLANNING AND ZONING

OWNER:
 DR. STAN TOLKACHJOV
 (901)412-2767
 4024 MARBLE HILL RD.
 FRISCO, TEXAS 75034

LANDSCAPE PLAN
 SCALE: 1"=20'

ARCHITECT/PLANNER:
 ARCHITECTONICS TEXAS, LLC
 ROSS RAMSAY
 (469)974-8889
 2235 RIDGE RD. STE 201
 ROCKWALL, TEXAS 75087



ARCHITECTONICS TEXAS, LLC
 ARCHITECTURE - MANAGEMENT
 2235 RIDGE RD. STE. 200
 ROCKWALL, TEXAS 75087



REVISIONS

NO.	DATE	DESCRIPTIONS/ISSUE

PROJECT NAME AND ADDRESS:
DR. TOLKACHJOV EPIPHANY
 LOT 1 BLOCK D

PROJECT No.	
DRAWN BY	
CHECKED BY	
DATE	10/06/
SCALE	
SHEET NO.	of
DRAWING NAME:	



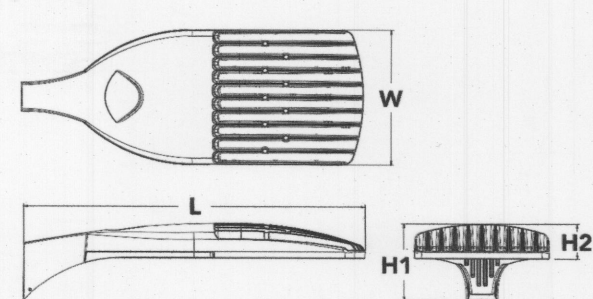
D-Series Size 1 LED Area Luminaire



Color temperature	DSX-1LED P2 50K T3M MVOLT
Height	18' HEIGHT, 70W
Type	POLE LIGHT/PARKING

Specifications

EPA:	1.01 ft ²
Length:	33"
Width:	13"
Height H1:	7-1/2"
Height H2:	3-1/2"
Weight (max):	27 lbs



Introduction
The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment. The D-Series distills the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire. The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. It is ideal for replacing up to 750W metal halide in pedestrian and area lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.

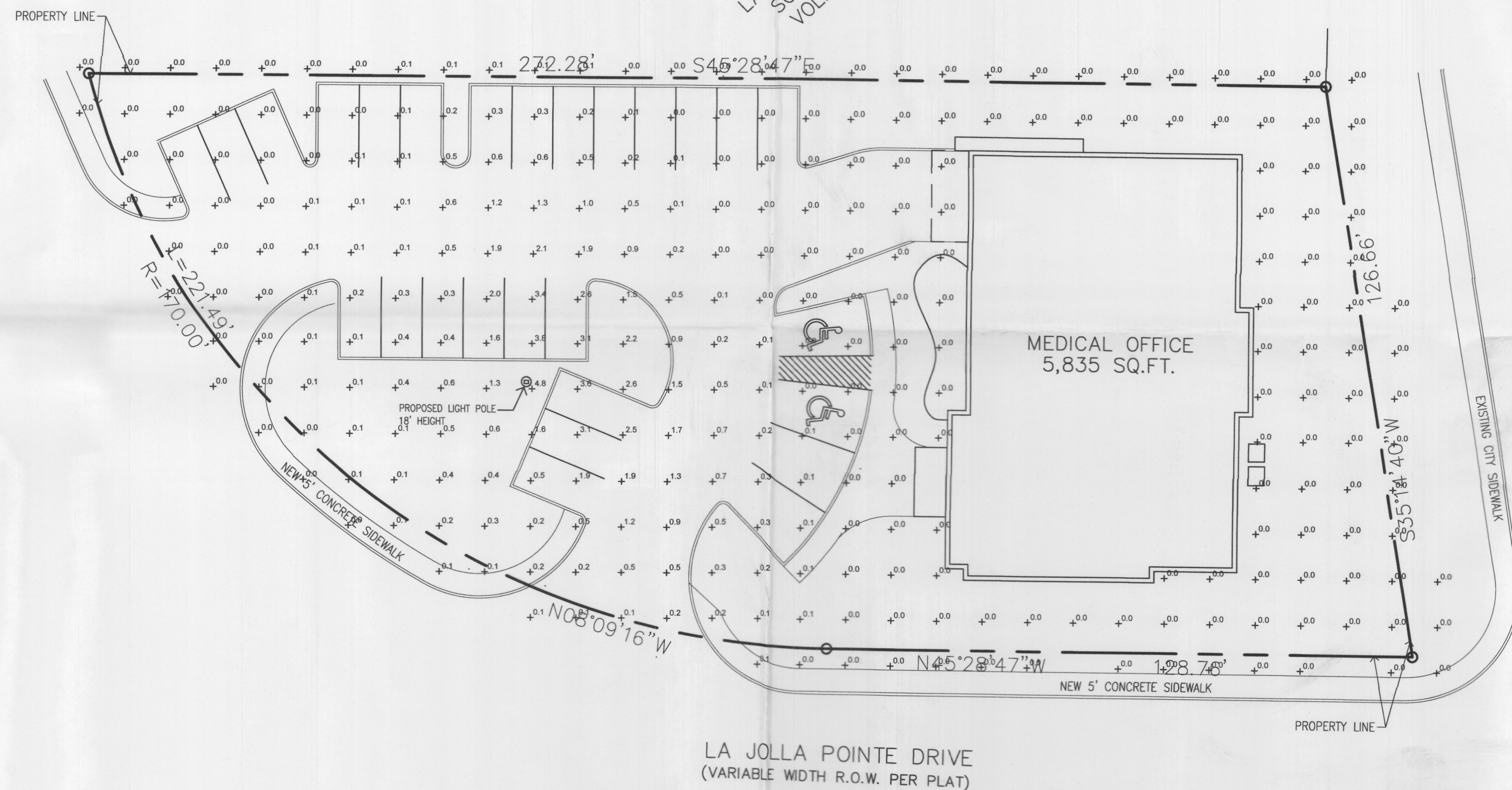
Ordering Information

EXAMPLE: DSX1 LED P7 40K T3M MVOLT SPA NLTAR2 PIRHN DDBXD

Series	LEDs	Color temperature	Distribution	Voltage	Mounting	
DSX1 LED	Forward optics		T1S Type I short (Automotive)	120V	Shipped included	
	P1 P4 P7	30K 3000 K	T5V Type V very short	277V (480V) ^{1,2,3}		
	P2 P5 P8	40K 4000 K	T5S Type V short	30V		
	P3 P6 P9	50K 5000 K	T5M Type V medium	120V		
	Retained optics		T3M Type III short	208V		SPA Square pole mounting
	P10 P12		T5W Type V wide	240V		RPA Round pole mounting
	P11 P13		RCC Backlight cutoff	277V		WBA Wall bracket
			T3M Type III medium	347V		SPUMBA Square pole universal mounting adapter
			T3M Type III long	480V		SPUMBA Round pole universal mounting adapter
			RCCO Right corner cutoff			Shipped separately
			TFM Forward throw medium			KMAR DDBXD U Most arm mounting bracket adapter (specify finish)

Control options	Other options	Finish
Shipped installed	PIR High/low, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 36"	DDBXD Dark bronze
NLTAR2 nLight All generation 2 enabled	PIRH High/low, motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 36"	DRLD Black
PIRHN Network, high/low motion/ambient sensor	PIRHCV High/low, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 36"	DNAD Natural aluminum
PER NSM wire lock receptacle only (controls ordered separately)	PIRHCV Bi-level, motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 36"	DWHD White
PER5 Five-pin receptacle only (controls ordered separately)	HA 50° ambient operations	DSOTD Textured dark bronze
PER7 Seven-pin receptacle only (controls ordered separately)	BAA Buy America(s) Act Compliant	DRLND Textured black
DMG 0-10v dimming wires pulled outside fixture (for use with an external control, ordered separately)	IAO Field adjustable output	DNATD Textured natural aluminum
DS Dual switching	Shipped separately	DWNGD Textured white
	IS "Bird spikes"	
	EGS External glare shield	

LITHONIA LIGHTING COMMERCIAL OUTDOOR
One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-705-SERV (7378) • www.lithonia.com
© 2011-2021 Acuity Brands Lighting, Inc. All rights reserved.



DESCRIPTION	AREA	LOT PERCENTAGE
LOT	29,969 SF	100 %
IMPERVIOUS	17,152 SF	57%
MEDICAL BUILDING	5,835 SF	19%
PAVEMENT AREA	11,317 SF	38%
PERVIOUS	12,168 SF	41%
SIDEWALK AREA	649 SF	2%
MAX. BUILDING HEIGHT PROPOSED	35'-8"	
PARKING REQUIREMENTS		
MEDICAL OFFICE (1,200 S.F.)	5,835 SF	
PARKING PROVIDED	29	
PARKING REQ'D	29	

APPROVED:

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ____ DAY OF ____.

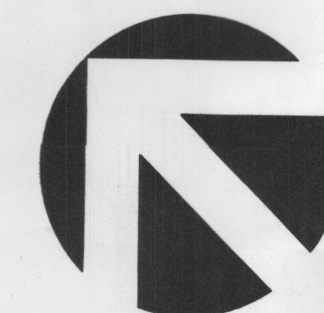
WITNESS OUR HANDS, THIS ____ DAY OF ____.

PLANNING AND ZONING COMMISSION

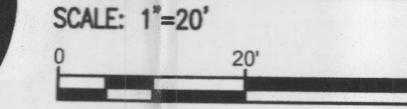
DIRECTOR OF PLANNING AND ZONING

OWNER:
DR. STAN TOLKACHJOV
(901)412-2767
4024 MARBLE HILL RD.
FRISCO, TEXAS 75034

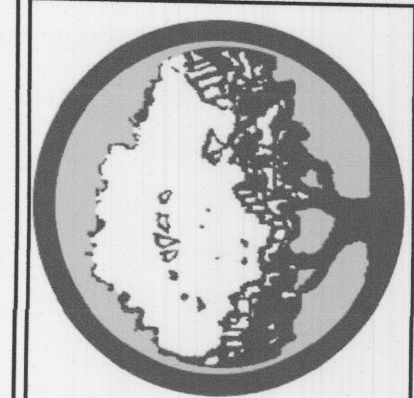
ARCHITECT/PLANNER:
ARCHITECTONICS TEXAS, LLC
ROSS RAMSAY
(469)974-8889
2235 RIDGE RD. STE 201
ROCKWALL, TEXAS 75087



PHOTOMETRIC PLAN
SCALE: 1"=20'



ARCHITECTONICS TEXAS, LLC
ARCHITECTURE - MANAGEMENT
2235 RIDGE RD. STE. 201
ROCKWALL, TEXAS 75087



NO.	REVISIONS	DATE

PROJECT NAME AND ADDRESS:
DR. TOLKACHJOV
EPIPHANY
LOT 1 BLOCK D
LA JOLLA POINTE ADDITION

PROJECT No.	
DRAWN BY	
CHECKED BY	
DATE	9/17/2021
SCALE	
SHEET NO.	of

DRAWING NAME:
SP2021-026